

ACTIVITY DETERMINATION

Project No. BGXUP

Conflict of Interest¹

In this matter:

1. I have declared any possible conflict of interests (real, potential or perceived) to the Chief Executive, Land & Housing Corporation.
2. I do not consider I have any personal interests that would affect my professional judgement.
3. I will inform the Chief Executive, Land & Housing Corporation as soon as I become aware of a possible conflict of interest.

Signed.....

Name..... Emma Nicholson

Dated..... 12/8/2022

Having regard to the Determination Recommendation Report, the Statement of Compliance and the Review of Environmental Factors for this project addressing matters under Part 5 of the *Environmental Planning and Assessment Act 1979*, I determine that the activity proceed as described below and subject to the identified requirements set out in **Schedule 1**.

SITE IDENTIFICATION

STREET ADDRESS

Unit/Street No

1 & 50

Street or property name

Waratah Avenue & Frost Street

Suburb, town or locality

Orange

Postcode

2800

Local Government Area(s)

Orange

Real property description (Lot and DP)

Lots 5 & 6 in DP 36132

ACTIVITY DESCRIPTION

Provide a description of the activity

Demolition of 2 single dwellings and removal of 4 trees to construct a 6 dwelling (4 x 1 bedrooms & 2 x 2 bedrooms) General Housing Development with 4 on grade car parking spaces, associated landscaping and lot consolidation

¹ Conflict of interest includes actual and potential. A conflict of interest includes pecuniary i.e. financial interests to you or a related party or non-pecuniary i.e. benefits to relatives, friends, business associates and personal causes, etc. This includes "related persons" as defined in the Property, Stock and Business Agency Act 2002.

Signed.....

12/8/2022
Dated.....**Emma Nicholson**
A/Head of Policy and Innovation
Land and Housing Corporation

SCHEDULE 1

RECOMMENDED IDENTIFIED REQUIREMENTS

PART A – Standard identified requirements

THE DEVELOPMENT

The following identified requirements have been imposed to ensure that the development activity is carried out in accordance with the plans / documents and any amendments approved under Part 5 of the Environmental Planning & Assessment Act 1979.

1. The development must be carried out substantially in accordance with the following plans / documents as modified below and by any of the undermentioned identified requirements:

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
<u>Architectural</u>				
Cover Sheet	Sheet 01	Rev B	24.02.2022	DTA Architects
Block Analysis Plan	Sheet 02	Rev B	24.02.2022	DTA Architects
Site Analysis Plan	Sheet 03	Rev B	24.02.2022	DTA Architects
Demolition Plan	Sheet 04	Rev B	24.02.2022	DTA Architects
Development Data	Sheet 05	Rev B	24.02.2022	DTA Architects
Site Plan	Sheet 06	Rev B	24.02.2022	DTA Architects
Ground Floor Plan	Sheet 07	Rev B	24.02.2022	DTA Architects
First Floor Plan	Sheet 08	Rev B	24.02.2022	DTA Architects
Roof Plan	Sheet 09	Rev B	24.02.2022	DTA Architects
Elevations	Sheet 10	Rev B	24.02.2022	DTA Architects
Elevations	Sheet 11	Rev B	24.02.2022	DTA Architects
Elevations – Street view	Sheet 12	Rev B	24.02.2022	DTA Architects
Sections	Sheet 13	Rev B	24.02.2022	DTA Architects
Solar Access – View from Sun	Sheet 14	Rev B	24.02.2022	DTA Architects
Solar Access – View from Sun	Sheet 15	Rev B	24.02.2022	DTA Architects
Shadow Diagrams	Sheet 16	Rev B	24.02.2022	DTA Architects
Perspectives	Sheet 17	Rev B	24.02.2022	DTA Architects
<u>Landscape</u>				
Landscape Plan	Sheet 1	Rev P7	07.02.2022	RFA Landscape Architects
<u>Civil Design</u>				
Specifications and Site Drainage Plan	Sheet 1 of 3	Rev B	20.10.2021	MSL Consulting Engineers
Stormwater Details and Sections	Sheet 2 of 3	Rev C	17.02.2022	MSL Consulting Engineers
Sediment and Erosion Control Plan	Sheet 3 of 3	Rev B	20.10.2021	MSL Consulting Engineers
Cut and Fill Plan	Sheet 1 of 1	Rev C	14.03.2022	MSL Consulting

Title / Name:	Drawing No / Document Ref	Revision / Issue:	Date [dd.mm.yyyy]:	Prepared by:
				Engineers
<u>Hydraulic Plan</u>				
Hydraulic Services Plan Legend & Notes	Sheet 1 of 4	Rev F	02.2022	DeAngelis Taylor and Associated Pty
Hydraulic Services Plan Site/Ground Floor Plan	Sheet 2 of 4	Rev F	02.2022	DeAngelis Taylor and Associated Pty
Hydraulic Services Plan First Floor/Roof Plan	Sheet 3 of 4	Rev F	02.2022	DeAngelis Taylor and Associated Pty
Hydraulic Services Plan Roof Plan	Sheet 4 of 4	Rev F	02.2022	DeAngelis Taylor and Associated Pty
<u>BASIX/NatHers</u>				
BASIX Certificate	No. 1218683M_02	02	03.03.2022	LC Consulting Engineers
<u>Specialist Reports</u>				
Arboricultural Impact Assessment Report	Ref 6791		29.10.2021	Redgum Horticultural
Residential Site Investigation Report	Ref. 36151A_GR01	A	07.04.2021	Barnson Pty Ltd
Report relating to Class 1A single storey dwelling	Ref 020-014009		01.11.2021	Philip Chin Building Compliance
Report relating to Class 2 two storey building	Ref 020-014009		01.11.2021	Philip Chin Building Compliance
Access Report	Ref. 21228-R2.1		18.11.2021	Access-i
Traffic Impact Assessment Report			26.10.2021	Park Transit
Waste Management Plan			29.10.2021	DTA Architects
Heritage Impact Statement			11.2021	Ian Rufus

2. All building work is to be undertaken in accordance with the National Construction Code and referenced Australian Standards.
3. All commitments listed in the BASIX certificate and stamped plans shall be complied with.
4. All construction documentation and building work is to be certified in accordance with Section 6.28 of the *Environmental Planning and Assessment Act 1979*.
5. The land the subject of this approval must be consolidated into a single lot. The plan of consolidation must be lodged at the NSW Land Registry Services and be registered prior to occupation of the development. A copy of the registered plan is to be provided to the Land & Housing Corporation.

OPERATIONAL MATTERS

These identified requirements pertain to the use of the site and have been imposed to ensure that the development and its operation do not interfere with the amenity of the surrounding area.

Stormwater Run-off

6. Stormwater is to be collected within the site, and conveyed in a pipeline to the appropriate gutter or drain under the control of the council for the area, substantially in accordance with the approved concept stormwater drainage plans.
7. Alterations to the natural surface contours or surface absorption characteristics must not impede, increase or divert natural surface water runoff, so as to cause a nuisance to adjoining property owners.

8. All driveways are to be graded in such a manner as to provide continuous surface drainage flow paths to appropriate points of discharge.
9. To prevent water from entering buildings surface waters shall be collected and diverted clear of the buildings by a sub-surface / surface drainage system.

Vehicular Access & Parking

10. A concrete vehicular crossing(s) and layback(s) must be provided at the entrance(s) / exit(s) to the property. The crossing(s) and layback(s) must be constructed in accordance with the council for the area's standard requirements for residential crossings. Council shall be provided with plans for the crossing(s) and layback(s) together with the payment of any council inspection fees.
11. Particular care should be taken in the location of vehicular crossings and/or laybacks to avoid poles, pits etc. The cost of any necessary adjustments to utility mains and services associated with the construction of the layback / driveway is to be borne by the Land & Housing Corporation. Obsolete gutter laybacks are to be constructed as kerb in accordance with the respective council's standards.

Note: It is recommended that discussion be held with the relevant authorities before construction works commence.

12. Car parking spaces and driveways must be constructed of concrete or other approved hard surfaced materials. The spaces must be clear of obstructions and columns, permanently line marked and provided with adequate maneuvering facilities. The design of these spaces must comply with AS 2890.1.

Site Works

13. All soil erosion and sediment control measures required to be put in place prior to the commencement of demolition / construction works are to be maintained during the entire period of the works until disturbed areas are restored by turfing, paving or revegetation. Soil erosion and sediment control measures shall be designed in accordance with the guidelines set-out in the Blue Book *Managing Urban Stormwater: Soils and Construction* (4th edition, Landcom, 2004).
14. An appropriately qualified person shall design retaining walls or other methods necessary to prevent the movement of excavated or filled ground, including associated stormwater drainage measures.

Building Siting

15. All buildings are to be sited well clear of any easements affecting the site. The builder shall ascertain if any easements do exist and if so obtain full details of such prior to construction commencing.

Smoke Detection System(s)

16. Smoke detection systems shall be installed throughout the building(s) in accordance with requirements of Clause E1.7 of the Building Code of Australia. Detectors shall comply with AS 3786 and must:
 - i. be connected to a permanent 240V power supply; and
 - ii. be provided with a battery backup to activate the alarm unit in the event of failure of the permanent power supply.

Site Soil Contamination

17. If the site is identified as being potentially affected by soil contamination, it is to be inspected by a suitably qualified person to identify any contaminated or hazardous material present. A proposal for remediation is to be prepared, which may include the preparation of a Remedial Action Plan, and remediation is to be carried out in accordance with the plan. A Validation Report, prepared in accordance with Environment Protection Authority requirements, is to be obtained from a qualified expert on completion of the remediation work to verify that the site is suitable for the intended residential use. A copy of the Validation Report is to be provided to the Land & Housing Corporation on completion of the remediation works.

Landscaping

18. Landscaping is to be carried out substantially in accordance with the approved landscape plan(s) and maintained for a period of 12 months by the building contractor. The council for the area is to be consulted in relation to the planting of any street trees along the site frontage(s).
19. All scheduled plant stock shall be pre-ordered, prior to commencement of construction or 3 months prior to the commencement of landscape construction works, whichever occurs sooner, for the supply to the site on time for installation. The builder shall provide written confirmation of the order to Council and provide a copy to the Land & Housing Corporation.

Tree Removal

20. Removal of trees within the boundaries of the site is to be carried out in accordance with the trees shown for removal on the approved landscape plan and Arborist report and no other trees are to be removed without further approval. Trees identified for retention on the approved landscape plan and Arborist report are to be retained.

Fencing

- ~~21. All front fencing and gates are to be constructed wholly within the boundaries of the site. All gates associated with the fencing are to swing inwards towards the site.~~

Provision of Letterbox Facilities

22. Suitable letterbox facilities shall be provided in accordance with Australia Post specifications.

Public Liability Insurance

23. A valid public liability insurance policy of at least \$10M shall be maintained throughout the demolition / construction works by the contractor.

PRIOR TO ANY WORK COMMENCING ON THE SITE

The following identified requirements are to be complied with prior to any work commencing on the site.

~~Long Service Levy~~

- ~~24. The long service levy shall be paid by the Land & Housing Corporation to the Long Service Payments Corporation in accordance with the Building & Construction Industry Long Service Payments Act 1986 prior to the commencement of any building and construction works.~~

Note:

~~Where approval has been granted for development by a Crown body other than a council, the amount payable is 0.35% of the contract inclusive of GST.~~

(Deleted)

Service Authority Clearances

25. An application for a compliance certificate is to be made to the relevant water utility (e.g. the local council for the area or Hunter Water or Sydney Water) or other evidence of the utility's non-objection to the commencement of work on the basis of service availability is to be obtained prior to work commencing.

Note:

Payment of water and/or sewer service charges and/or a notice of requirements for works to be carried out during construction / prior to occupation may be applicable prior to issue of the compliance certificate.

26. A written clearance from an electricity supply authority stating that electrical services have been made available to the development or that arrangements have been entered into for the provision of services to the development is to be obtained prior to work commencing.
27. A certificate from an approved telecommunications carrier to certify that satisfactory arrangements have been made to ensure the provision of underground telephone services to the site and to each dwelling in the development is to be obtained prior to work commencing.
28. Where the site is to be connected to reticulated gas, a certificate from an approved gas carrier to certify that satisfactory arrangements have been made to ensure the provision of underground gas services to the site and to each dwelling in the development is to be obtained prior to work commencing.

Utilities Service Provider Notification

29. The demolition / construction plans must be submitted to the appropriate water utility's office (eg Sydney Water office) to determine whether the development will affect the utility's sewer and water mains, stormwater drains and/or easements. If the development complies with water utility's requirements, the plans will be stamped indicating that no further requirements are necessary.

Disconnection of Services

30. All previously connected services that are required to be disconnected are to be appropriately disconnected and made safe prior to commencement of the demolition / construction works. The various service authorities shall be consulted regarding their requirements for the disconnection of services.
31. All existing services within the boundary to remain live must be identified, pegged and made safe.

Demolition / Site Clearance

32. The builder is to notify the occupants of premises on either side, opposite and at the rear of the development site a minimum of two days prior to demolition/site clearance. Such notification is to be clearly written on A4 size paper giving the date demolition/site clearance will commence and be placed in the letterbox of every premise (including every unit of a multi-unit residential building or mixed use building if applicable). The demolition/site clearance must not commence prior to the date which has been stated in the notice letter.
33. Prior to the demolition/site clearance, a Work Plan shall be prepared by a competent person(s) and shall be submitted to the Land & Housing Corporation. The Work Plan shall outline the identification of any hazardous materials, including surfaces coated with lead paint, method of demolition/site clearance, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials.

Stormwater Disposal

34. A detailed stormwater drainage plan(s), substantially in accordance with the approved concept stormwater drainage plan(s), is to be prepared and submitted to the Land & Housing Corporation. Any on-site detention system shall be designed in accordance with any catchment authority requirements (eg the Upper Parramatta River Catchment Trust On-site Detention Handbook) and/or the council for the area's drainage code.
35. Proof of lodgement of any plan of a required drainage easement at the NSW Land Registry Services must be submitted to the Land & Housing Corporation prior to commencement of works. Registration of the plan of easement must be completed prior to occupation of the development and a copy of the registered plan is to be provided to the Land & Housing Corporation.

Council Notification

36. The council for the area shall be advised in writing, of the date it is intended to commence work, including demolition/site clearance. A minimum period of 5 working days notification shall be given.

Landfill

37. Where site filling is necessary, a minimum of 95% standard compacting must be achieved and certified by a NATA registered Soils Laboratory.

38. Land fill materials must satisfy the following requirements:

- i. be Virgin Excavated Natural Matter (VENM);
- ii. be free of slag, hazardous, contaminated, putrescible, toxic or radio-active matter; and
- iii. be free of industrial waste and building debris.

Site Facilities

39. The following facilities shall be installed on the site:

- (a) Toilet facilities shall be provided at the rate of 1 toilet for every 20 persons, or part thereof, employed at the site. Each toilet provided shall be a standard flushing toilet and shall be connected to a public sewer or if connection to a public sewer is not practicable, to an accredited sewerage management facility provided by the council for the area or if this is not practicable to some other council approved management facility.
 - (b) Adequate refuse disposal methods and builders storage facilities. Builders' wastes, materials or sheds are not to be placed on any property other than that which this approval relates to.
40. Access to the site is to be provided only via an all-weather driveway on the property and is not to be provided from any other site.

Site Safety

41. A sign must be erected in a prominent position on any site on which demolition or building work is being carried out:
- (a) showing the name, address and telephone number of the responsible Land & Housing Corporation officer for the work, and
 - (b) showing the name of the principal contractor (if any) and a telephone number on which that person may be contacted during and outside working hours, and
 - (c) stating that unauthorised entry to the work site is prohibited.

Any such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed.

Note:

This requirement does not apply in relation to building work that is carried out inside an existing building that does not affect the external walls of the building.

42. A minimum 1.8m high security fence or a Class A (minimum 1.8m high security fence) or Class B (overhead) hoarding must be erected between the work site and any public place prior to demolition / construction. Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when demolition / construction work is not in progress or the site is otherwise unoccupied.

Note:

Approval from the relevant roads authority will be required under Section 138 of the Roads Act 1993 where a Class A or B hoarding encroaches onto the footpath of / or a public thoroughfare within a classified road.

43. Building materials are not to be stored on the council for the area's footpath or roadway.

Waste Management

44. A final Waste Management Plan is to be prepared and submitted to the Land & Housing Corporation prior to the commencement of demolition / construction. The plan shall detail the amount of waste material and the destination of all materials, recyclable and non-recyclable, including provision for adequate receptacle(s) to store all waste generated by the development, pending disposal.

DURING DEMOLITION / SITE CLEARANCE / CONSTRUCTION

The following identified requirements are to be complied with whilst works are occurring on the site.

Heritage

45. Historic and indigenous archaeological sites and relics are protected under the *Heritage Act 1977* and *National Parks and Wildlife Act 1974* respectively. Should any relics be uncovered during the course of the approved works, work must cease in the affected area. Subsequently, in cases where historical items have been uncovered, the Department of Planning, Industry and Environment must be contacted or if indigenous items have been uncovered the Department of Environment, Energy and Science must be contacted.
46. All workers / contractors must be informed of their obligations under the *National Parks and Wildlife Act 1974*, namely that it is illegal to disturb, damage or destroy a relic without the prior approval of the Coordinator-General of the Department of Environment, Energy and Science.

Demolition

47. Any existing structures are to be demolished/removed prior to commencement of construction of the approved development.
48. Demolition is to be carried out in accordance with the appropriate provisions of AS 2601.
49. Where materials containing asbestos are to be removed, the removal is to be carried out by a licensed contractor(s) who has a current SafeWork NSW accreditation in asbestos removal.
50. Removal of asbestos-based thermal or acoustic insulation, such as sprayed asbestos and asbestos-based lagging, including friable asbestos boards, shall be carried out in accordance with the National Occupational Health and Safety Commission's Code of Practice for the Safe Removal of Asbestos, 2nd Edition [NOHSC:2002 (2005)].
51. Hazardous or intractable wastes, including all asbestos laden waste, arising from the demolition/site clearance process shall be removed and disposed of in accordance with the requirements of SafeWork NSW and the Department of Environment, Energy and Science.
52. Documentary evidence in the form of tip receipts from an approved Waste Management Facility shall be obtained by the demolition/site clearance contractor and submitted to the Land & Housing Corporation demonstrating the appropriate disposal of the asbestos waste.
53. Demolition/site clearance procedures shall maximise the reuse and recycling of materials from the site in order to reduce the environmental impacts of waste disposal.
54. During demolition/site clearance, the public footway and public road shall be kept clear at all times and shall not be obstructed by any demolished material or vehicles. The public road and footway shall be swept (not hosed) clean of any material, including clay, soil and sand.
55. All vehicles leaving the site with demolition/site clearance materials shall have their loads covered and vehicles shall not track soil and other material onto the public roads and footways and the footway shall be suitably protected against damage when plant and vehicles access the site. All loading of vehicles with demolished materials shall occur on site.
56. Care shall be taken during demolition/site clearance to ensure that existing services on the site (ie sewer, electricity, gas, and telecommunications) are not damaged.

Survey Reports

57. Survey reports are to be submitted to the Land & Housing Corporation prior to the placement of the footings / slab and on completion of the dwellings to verify the correct position of the structures in relation to the boundary allotments in accordance with this determination.

Hours of Demolition / Construction / Civil Work

58. Demolition / site clearance / construction / civil work is only permitted on the site between the hours of 7.00am to 6.00pm Monday to Friday and 8.00am to 1.00pm on Saturday with no work permitted on Sundays or public holidays.

Excavation & Backfilling

59. All excavations and backfilling associated with site clearance and the erection of a building must be executed safely and in accordance with appropriate professional standards. All such work is to be guarded and protected to prevent it from being dangerous to life and property.

Pollution Control

60. Any noise generated during the construction of the development shall not exceed the limits specified in the July 2009 Interim Construction Noise Guidelines, published by the Department of Environment and Climate Change (now Department of Environment, Energy and Science).
61. No fires are to be lit or waste materials burnt on the site.
62. No washing of concrete forms or trucks is to occur on the site.
63. Any contamination / spills on the site during construction works must be actively managed and reported immediately to appropriate regulatory authorities to minimise any potential damage to the environment.
64. Dust generation during demolition / site clearance / construction shall be controlled using regular control measures such as on site watering or damp cloth fences.
65. All vehicles transporting loose materials and travelling on public roads must be secured (ie closed tail gate and covered) to minimise dust generation.
66. Spraying of paint and other materials with the potential to become air borne particulates must only be undertaken in light wind conditions.
67. Non-recyclable waste and other waste containers must be regularly collected and disposed of at a licensed landfill or other disposal site in accordance with details set out in the final Waste Management Plan to be prepared and submitted to the Land & Housing Corporation prior to the commencement of demolition / construction.

Impact of Construction Works

68. The Land & Housing Corporation shall bear the cost of any necessary adjustments to utility mains and services.
69. Care shall be taken to prevent any damage to adjoining properties. The building contractor may be liable to pay compensation to any adjoining owner if, due to construction works, damage is caused to such adjoining property.

PRIOR TO OCCUPATION OF THE DEVELOPMENT

The following identified requirements are to be complied with prior to the occupation of the development.

General

70. The occupation of the development shall not commence until all the identified requirements of this determination have been complied with.

Termite Protection

71. To protect buildings from subterranean termite, termite barriers installed in accordance with AS 3660.1 are required on the underside and penetrations of the concrete slab floor.

In addition, a durable notice must be permanently fixed inside the meter box indicating:

- (a) The method of protection.
- (b) The date of installation of the system.
- (c) Where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label.
- (d) The need to maintain and inspect the system on a regular basis.

Road Damage

72. The cost of repairing any damage caused to the council for the area's assets in the vicinity of the subject site as a result of demolition / site clearance / construction works associated with the approved development is to be met in full by the building contractor.

Stormwater Drainage

73. Prior to occupation of the development, a Work As Executed Plan must be prepared by the Building Contractor clearly showing all aspects of the constructed stormwater drainage system, including any on-site detention system. The plan must demonstrate general compliance with the approved concept stormwater drainage plan(s) and must include:

- Sufficient levels and dimensions to verify the constructed storage volume.
- Location and surface levels of all pits.
- Invert levels of the internal drainage line, orifice plates fitted and levels within the outlet control pit.
- Finished floor levels of all structures.
- Verification that any required trash screens have been installed.
- Locations and levels of any overland flow paths.
- Verification that any drainage lines are located wholly within easements.

The Work-As-Executed Plan information should be shown on a copy of the final civil works drawings.

A positive covenant and restriction-as-to-user must be placed over the onsite detention system (if any) in accordance with the council for the area's on-site detention policy to ensure that system will be adequately maintained. The positive covenant and restriction-as-to-user must be registered at NSW Land Registry Services prior to occupation of the development. A copy of the registered restriction-as-to-user is to be provided to the Land & Housing Corporation and the council for the area.

PART B – Additional identified requirements

Site Specific Requirements

74. Site Investigation Report

The recommendations contained in the Site Investigation Report dated 7.04.2021 prepared by Barnson must be implemented, including but not limited to Building Foundation and Construction. In particular, during foundation construction, should the subsurface conditions vary to those inferred in the Site Investigation Report, a suitably experienced geotechnical engineer should review the design and recommendations given in the Report to determine if any alterations are required.

Requirements resulting from consideration of the council for the area's notification response in the REF

Nil requirements

Requirements as requested by public authorities other than councils

Nil requirements

Requirements resulting from consideration of adjoining occupier responses to notification in the REF / consideration of other public submissions received

Nil requirements

Specific service / utility agency requirements

Nil requirements

ADVISORY NOTES

- i. Approval of this development activity does not imply or infer compliance with Section 23 of the Disability Discrimination Act 1992. Refer to AS 1428.1 and the Building Code of Australia for detailed guidance.
- ii. Information regarding the location of underground services may be obtained from Dial Before You Dig at www.1100.com.au or by dialling 1100.

DETERMINED by the New South Wales Land & Housing Corporation on:

12/8/2022

NOTE

ALL CUT AND FILL VOLUMES ARE APPROXIMATE AND SHOULD BE USED AS A GENERAL INDICATION ONLY.
CUT/FILL ELEVATIONS SHOWN COLOURED ARE THE CUT/FILL LEVEL DIFFERENCE BETWEEN THE TOP OF FINISHED SURFACE RL OF PAVEMENTS, SLABS, RAMPS, DRIVEWAYS & LANDSCAPE AREAS AND COMPARED TO THE NATURAL GROUND LEVELS OF ORIGINAL SURVEY.
EXCAVATION HAS BEEN CONSIDERED FOR ONSITE DETENTION TANK & RAINWATER TANK TO THE INVERT FFL OF TANKS BASE SLAB. CONTRACTOR TO ALLOW FOR EXCAVATION TO UNDERSIDE OF TANK SUBLAYERS.
CONTRACTOR TO ALLOW FOR ANY ADDITIONAL EXCAVATION. CONTRACTOR TO CALCULATE & ALLOW FOR EXCAVATION TO FINISHED EXCAVATION LEVEL BELOW THE PAVEMENT SUBLAYERS. CONTRACTOR TO ALLOW FOR STORMWATER PITS & PIPE TRENCHES AND BORED PIERS.
ADDITIONAL SITE GRADING WILL BE REQUIRED. ALL SITE GRADING IS THE RESPONSIBILITY OF THE CONTRACTOR.
CUT AND FILL MAY VARY ON SITE DUE TO SITE CONSTRUCTION WORKS SUCH AS PIPE TRENCHING AND CONSTRUCTION SEQUENCES.

PROVIDE GENERAL GRADING TO LANDSCAPE AREAS TO FFRL'S INDICATED ON ARCHITECTURAL PLANS. TO FOLLOW NATURAL RL'S. CONTACT ENGINEER IF CUT/FILL REQUIRED.

DRIVEWAY LAYBACK & CROSSOVER TO ORANGE COUNCIL SPECIFICATIONS.

PROVIDE GENERAL GRADING TO LANDSCAPE AREAS TO FFRL'S INDICATED ON ARCHITECTURAL PLANS. TO FOLLOW NATURAL RL'S. PROJECT MANAGER TO ALLOW FOR SWALE. CONTACT ENGINEER IF CUT/FILL REQUIRED.

PROVIDE GENERAL GRADING TO LANDSCAPE AREAS TO FFRL'S INDICATED ON ARCHITECTURAL PLANS. TO FOLLOW NATURAL RL'S. CONTACT ENGINEER IF CUT/FILL REQUIRED.

PROVIDE GENERAL GRADING TO LANDSCAPE AREAS TO FFRL'S INDICATED ON ARCHITECTURAL PLANS. TO FOLLOW NATURAL RL'S. CONTACT ENGINEER IF CUT/FILL REQUIRED.

PROVIDE GENERAL GRADING TO LANDSCAPE AREAS TO FFRL'S INDICATED ON ARCHITECTURAL PLANS. TO FOLLOW NATURAL RL'S. CONTACT ENGINEER IF CUT/FILL REQUIRED.

ALL CUT AND FILL VOLUMES ARE APPROXIMATE AND SHOULD BE USED AS A GENERAL INDICATION ONLY.

Surface Analysis: Elevation Ranges

Number	Color	Minimum Elevation (m)	Maximum Elevation (m)	2D Area (m ²)	Volume (m ³)
1		-1.000	-0.800	0.0	0.0
2		-0.800	-0.600	0.0	0.0
3		-0.600	-0.400	1.0	0.1
4		-0.400	-0.200	1.0	0.3
5		-0.200	0.000	132.0	6.7
6		0.000	0.200	34.3	97.1
7		0.200	0.400	310.1	26.8
8		0.400	0.600	2.4	0.1

CUT AND FILL PLAN

SCALE 1:200

- DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
- BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
- THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY MSL CONSULTING ENGINEERS

LOCKED BAG 5112
PARRAMATTA NSW 2124
PHONE No (02) 9354 1880

www.dpie.nsw.gov.au

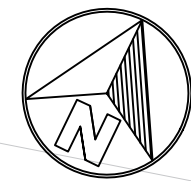
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W www.mslengineers.com.au

REV	DATE	NOTATION/AMENDMENT
P1	30.06.2021	ISSUE FOR COMMENT
A	25.08.2021	ISSUE FOR DA
B	29.10.2021	ISSUE FOR DA
C	14.03.2022	ISSUE FOR DA
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

PROJECT MANAGER
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PROJECT:
GENERAL HOUSING
at
LOTS 5 & 6 IN DP 36132
1 WARATAH & 50 FROST STREET
ORANGE NSW 2800



CUT & FILL PLAN

FILE: PLOTTED: 14/03/2022

STATUS: DA			
DATE: 14/03/22	SCALE: As shown @ A1	PROJ: BGXG4	JOB: 21087
STAGE: DA	DRAWN: AB	CHECKED: MP	CERTIFIER: MP
TYPE: C	SHEET: 1 of 1	REV: C	



DETERMINED by the New South Wales Land & Housing Corporation on:

12/8/2022

DA ISSUE

1 WARATAH AVENUE & 50 FROST STREET, ORANGE NSW

(LOT 5 & 6 in DP 36132)

GENERAL HOUSING



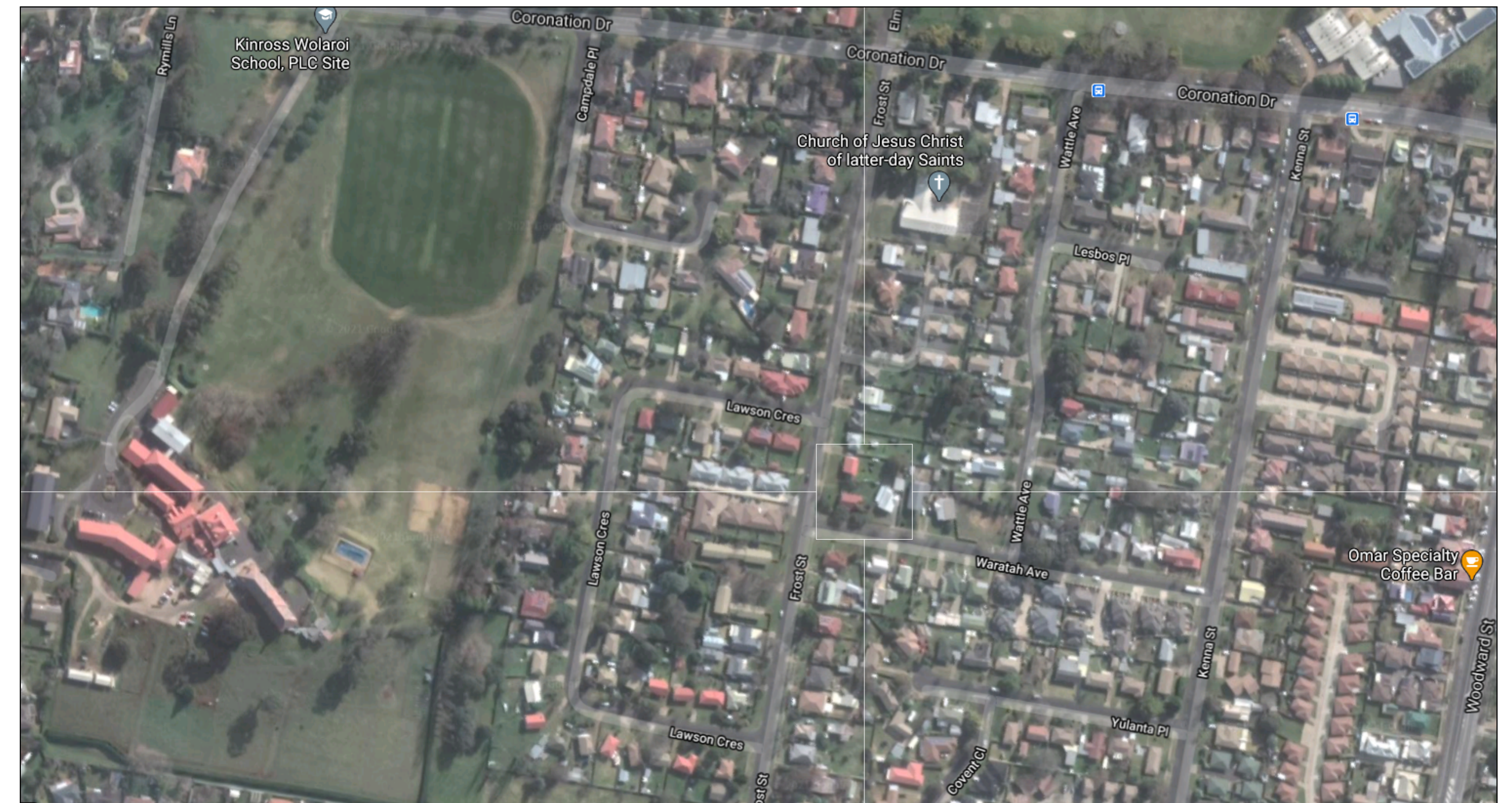
DRAWING SCHEDULE:

ARCHITECTURAL

COVER SHEET
BLOCK ANALYSIS PLAN
SITE ANALYSIS PLAN
DEMOLITION PLAN
DEVELOPMENT DATA
SITE PLAN
GROUND FLOOR PLAN
FIRST FLOOR PLAN
ROOF PLAN
ELEVATIONS
ELEVATIONS
ELEVATIONS- STREET VIEW
SECTIONS
SOLAR ACCESS - VIEW FROM SUN
SOLAR ACCESS - VIEW FROM SUN
SHADOW DIAGRAMS
PERSPECTIVES

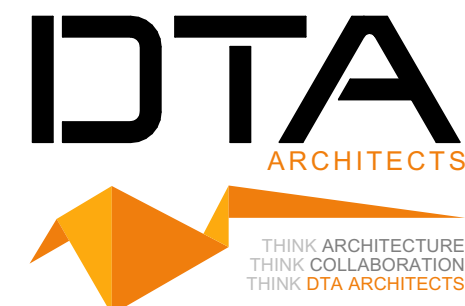
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A	02 of 17	B
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A	11 of 17	B
A	12 of 17	B
A	13 of 17	B
A	14 of 17	B
A	15 of 17	B
A	16 of 17	B
A	17 of 17	B

LOCATION PLAN:



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ARCHITECT

D T A Architects
PH (02) 9601 1011

PROJECT MANAGER

LAND & HOUSING CORPORATION
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DATE:
24/02/2022

DESIGN:
DA

PROJECT No:
BGXUP

NOMINATED ARCHITECTS:

Daniel Donai
NSW ARB No.9068



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0 5 10 20 40MM

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LEGEND: BLOCK PLAN

PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING

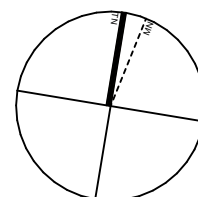
BOUNDARY LINE TO LOTS OWNED BY OTHERS

NOTE:
MOSTLY TYPICAL RECTANGULAR LOTS WITH VARIED LOT SIZES IN THE VICINITY OF THE NEW DEVELOPMENT. LOTS BECOME IRREGULAR TOWARDS BLOCK ENDS.

DETERMINED by the New South Wales Land & Housing Corporation on:

Handwritten signature

12/8/2022



EXISTING CHURCH



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



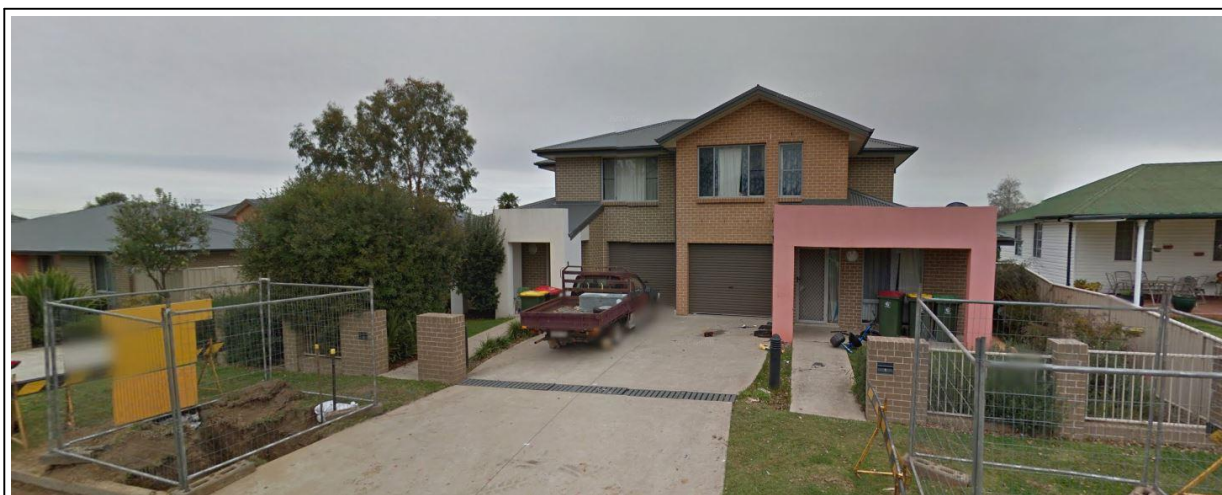
PROPOSED DEVELOPMENT OWNED BY DEPARTMENT OF HOUSING



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 & 2 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 & 2 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 & 2 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



EXISTING 1 STOREY MULTI - UNIT DEVELOPMENT



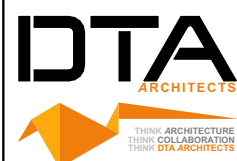
TYPICAL LOT DEVELOPMENT



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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No. 9068

Member
Architects Institute of Australia

REV	DATE	NOTATION/REMARK
A	16/11/2021	ISSUED FOR DA
B	1/02/2022	REVISED TO COUNCIL COMMENTS
C	24/02/2022	REVISED TO COUNCIL COMMENTS
D	24/02/2022	REVISED TO COUNCIL COMMENTS
E	24/02/2022	REVISED TO COUNCIL COMMENTS
F	24/02/2022	REVISED TO COUNCIL COMMENTS
G	24/02/2022	REVISED TO COUNCIL COMMENTS
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I	24/02/2022	REVISED TO COUNCIL COMMENTS
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X	24/02/2022	REVISED TO COUNCIL COMMENTS
Y	24/02/2022	REVISED TO COUNCIL COMMENTS
Z	24/02/2022	REVISED TO COUNCIL COMMENTS

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PROJECT:
GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE:
BLOCK ANALYSIS PLAN

FILE: CAD File: Z:\SharedData\3021
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3.2 DA\2021_009_LAHG Waratah St
Orange.DWG

PLOTTED: 24/02/2022
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DATE	SCALE	PROJ	JOB
24/02/2022	As shown @ A1	BGXUP	2021.009
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV	
A	2 of 17	B	

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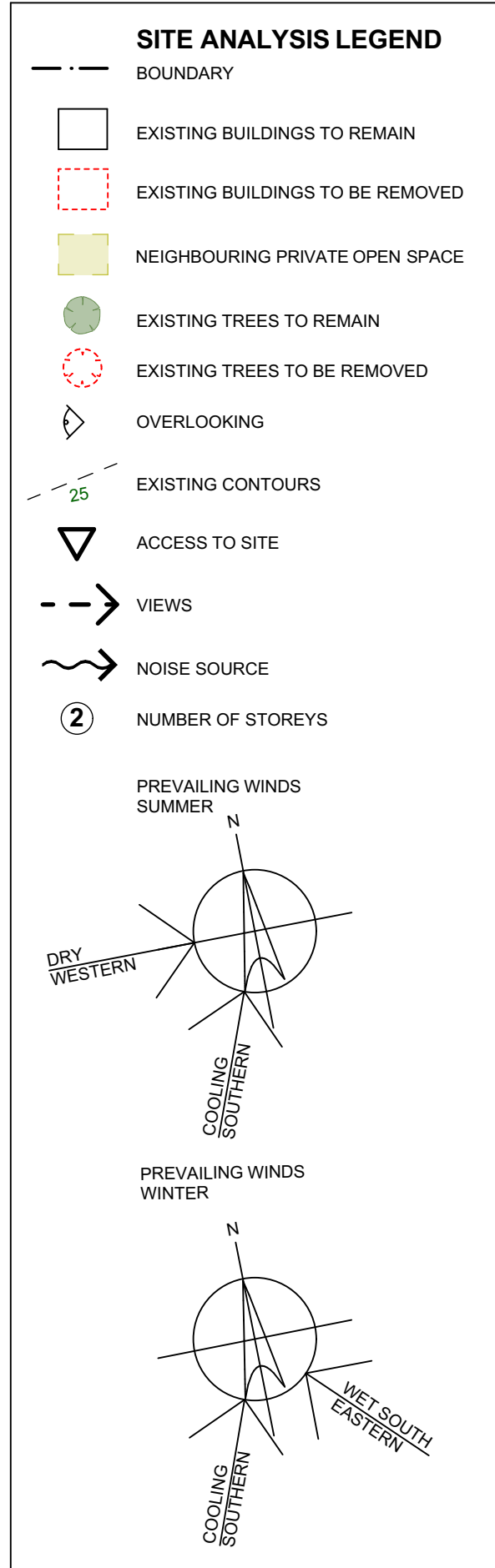
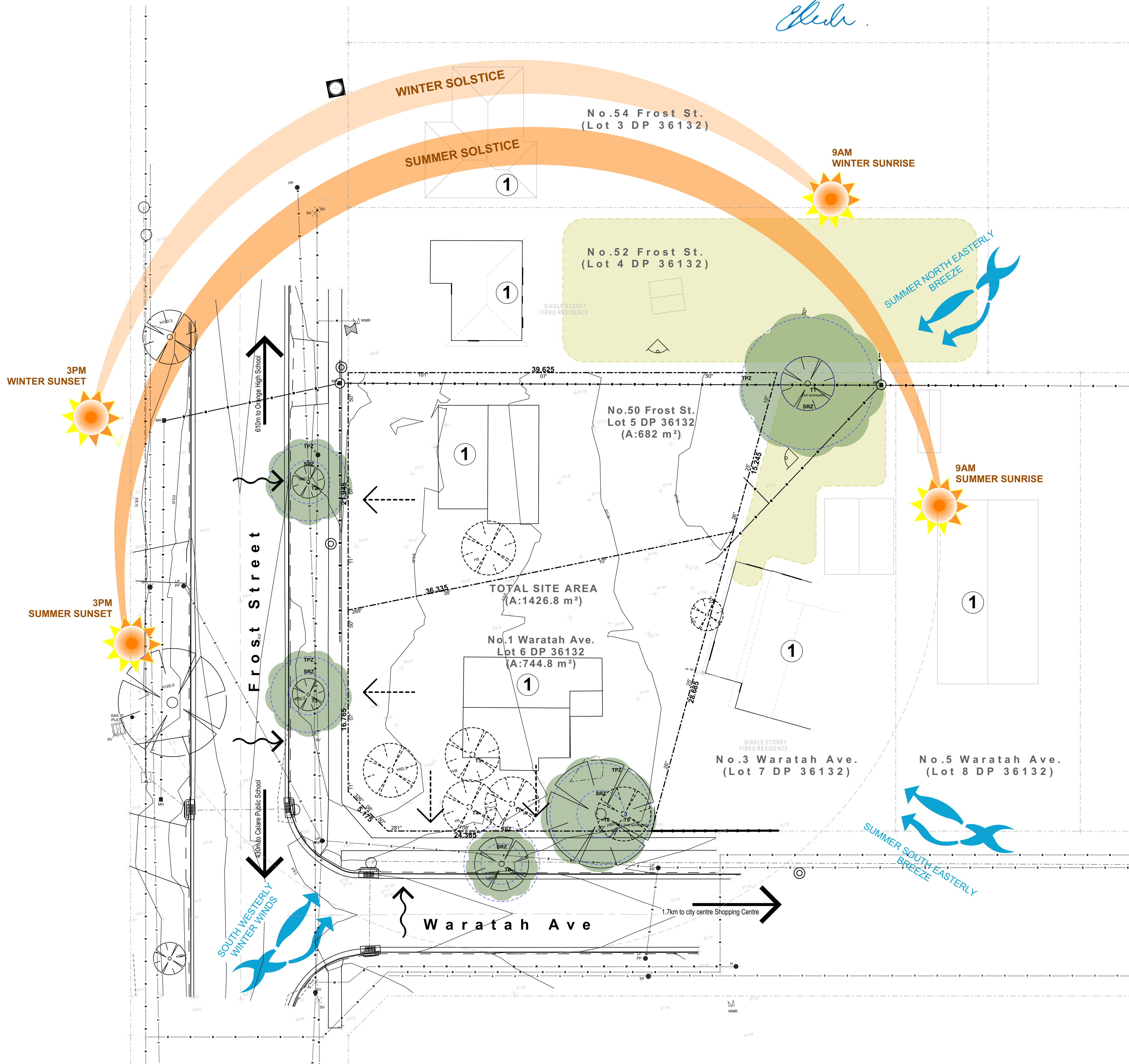
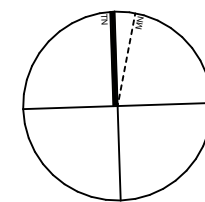
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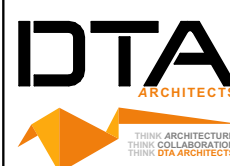
SITE ANALYSIS PLAN
1:200



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NOMINATED ARCHITECTS:

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NSW ARB No.9068

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REV	DATE	NOTATION/REMARK
B	1/02/2022	REVISED TO COUNCIL COMMENTS
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REV	DATE	NOTATION/REMARK
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PROJECT:
GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST STREET, ORANGE NSW

TITLE:
SITE ANALYSIS PLAN

FILE: CAD File: Z:\SharedData\3\2021
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13.2 DA\2021.009 LAHC Waratah St
Orange.DWG3.pht

PLOTTED: 24/02/2022
9:21 AM

STAGE	TYPE	SHEET	REV
C	SD	DD	DD
A	3 of 17	B	

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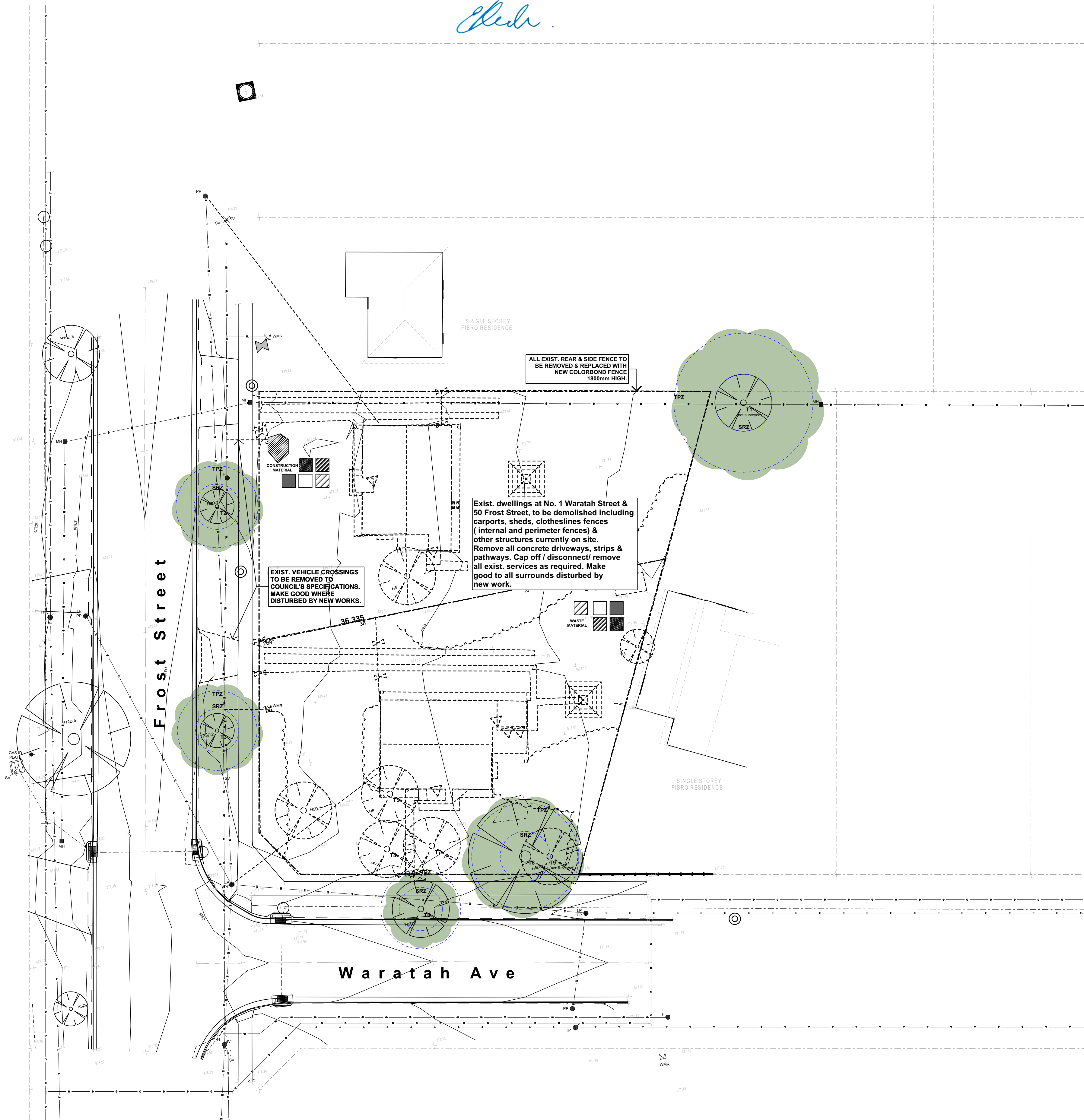
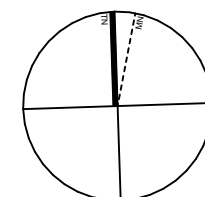
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LEGEND - DEMOLITION

- EXTENT OF SITE BOUNDARY
- EXISTING STRUCTURES TO BE DEMOLISHED. REPAIR & REINSTATE ADJOINING SURFACES.
- EXISTING SITE WORKS TO BE REMOVED / DEMOLISHED
- EXISTING TREES TO REMAIN. REFER ALSO TO LANDSCAPE DRAWING.
- EXISTING TREES TO BE REMOVED. REFER ALSO TO LANDSCAPE DRAWING.
- + EXISTING LEVELS

PERFORM ALL THE DEMOLITION AS SHOWN ON THE DRAWING AND/OR AS NECESSARY REQUIRED CARRYING OUT THE WORKS UNDER THE CONTRACT.

NB: CARE MUST BE TAKEN WHILE CARRYING OUT THE WORKS.

PROTECT EXISTING PROPERTY FROM DAMAGE BY APPROPRIATE MEANS INCLUDING SHORING, STRUTTING, PROTECTIVE SCREENS, SHEETING AND THE LIKE.

REPAIR & REINSTATE ANY SUCH DAMAGE TO MATCH EXISTING.

EXISTING SERVICES: DEAL AS APPROPRIATE WITH EXISTING SERVICES INCLUDED IN OR ENCOUNTERED DURING THE COURSE OF THE DEMOLITIONS.

BEFORE DEMOLISHING AND REMOVING PARTS OF BUILDING HAVING ELECTRICAL WIRING, GAS, SEWER AND WATER PIPES, CONDUIT OR SIMILAR ITEMS EMBEDDED IN THEM, NOTIFY THE PROJECT MANAGER/ SUPERINTENDENT, AUTHORITIES HAVING JURISDICTION, AND MAKE SURE THAT THESE ITEMS ARE OUT OF SERVICE SO THAT THEY CAN BE REMOVED WITHOUT DANGER.

LEGEND:

- EXCAVATION MATERIAL
- GYPROCK
- TIMBER
- BRICKS / TILES / CONCRETE
- STEEL
- GENERAL WASTE

1. CONSTRUCTION MATERIAL TO BE STACKED AWAY FROM WASTE STREAMS TO ENSURE EASY ACCESS BY RECYCLING ORGANISATION, BUILDERS & SUB-CONTRACTORS.

2. CONSTRUCTION WASTE SEGREGATED INTO SEPARATE STREAMS (& STORED IN HOPPERS).

1
-

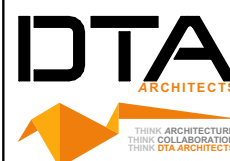
DEMOLITION PLAN
1:200



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REV	DATE	NOTATION/AMENDMENT
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REV	DATE	NOTATION/AMENDMENT
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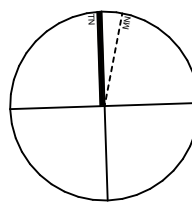
PROJECT:
GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE:
DEMOLITION PLAN

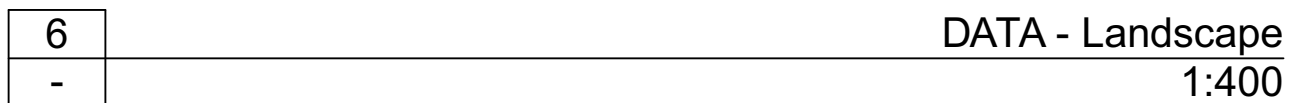
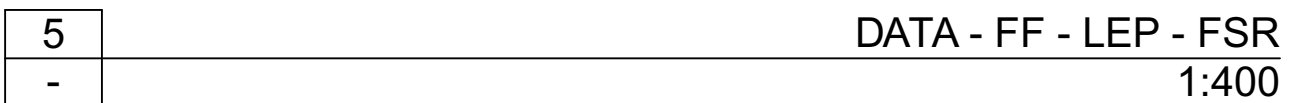
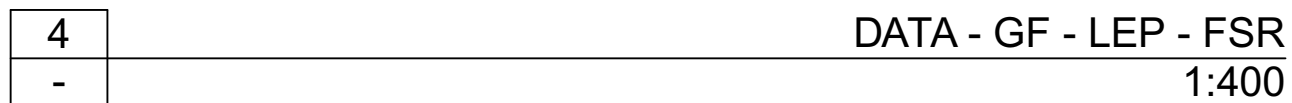
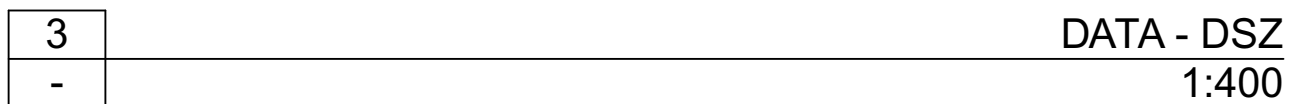
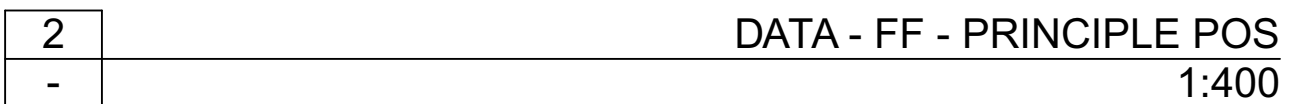
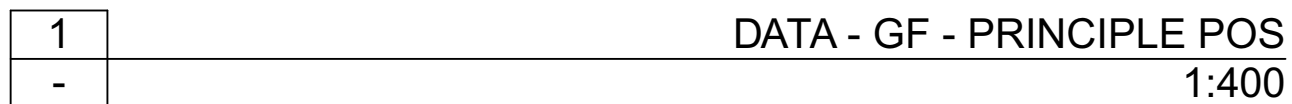
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Orange.DA03.pdf

PLOTTED: 24/02/2022
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STATUS: DEVELOPMENT ASSESSMENT			
DATE: 24/02/2022	SCALE: As shown @ A1	PROJ: BGXUP	JOB: 2021.009
STAGE: C	DRAWN: SD	CHECKED: DD	CERTIFIER: DD
TYPE: A	SHEET: 4 of 17	REV: B	



DETERMINED by the New South Wales Land & Housing Corporation on:



DEVELOPMENT DATA – General Housing						
Job Reference	BGXUP					
Locality / Suburb	Orange					
Street Address	1 Waratah & 50 Frost St, Orange NSW 2800					
Lot Number(s) & Deposited Plan	Lots 5 & 6 IN DP 36132					
SITE AREA (sqm)	1426.8 m2					
NUMBER OF EXISTING LOTS	2					
PROPOSED GFA* (sqm)	Orange LEP (m2)				382.1 m ²	
NUMBER OF DWELLINGS	6 (2 x 2 bedrooms, 4 x 1 bedrooms)					
DWELLINGS	Number	Type*	No of Bedrooms		Area*(m ²)	POS*
	1	Ground	2	General - Adaptable	74.93	14.32
	2	Ground	2	General - Livable	70.32	20.15
	3	Ground	1	General - Livable	52.22	20.35
	4	Ground	1	General - Livable	51.19	79.35
	5	First	1	General - Livable	53.98	8.21
	6	First	1	General - Livable	53.41	8.21
	Control		Requirement			Proposed
BUILDING HEIGHT	ARH SEPP		8.5m		7.6m	
PARKING	ARH SEPP	Non-Accessible	(no. 1 beds) x 0.5 = 4 x 0.5 = 2		4 spaces	
			(no. 2 beds) x 1 = 2 x 1 = 2			
FSR	Orange Council - LEP		-		0.27:1	
SETBACK(s)	Orange Council - DCP	Front Setback	Consistent with adjoining setback 7.58 m			8 m
		Secondary Setback	2 m			6.5m
		Side / Rear Setback	Min. 900mm setback to walls. Contained within height plane - 45deg, commencing 2.5m above existing ground level at site boundary.			2.5m / 3.8 m
DEEP SOIL - min 15% Site area	SLUDG (ARH SEPP as guide)		15% (Min 214.02m2) 2/3 deep soil at rear (142.68m2)		Complies (347.24 m ² Total) (151.78 m ² at rear)	
LANDSCAPING	SLUDG		30% of site area = 428.04m ²		Complies (637.08 m2)	
SOLAR ORIENTATION	ARH SEPP (ARH SEPP as guide)		70% of dwellings have 3 hours of sunlight between 9am and 3pm in mid-winter		Complies (83%) POS 83% (5/6 units) Living rooms 83% (5/6 units)	
LAHC*– development data for LAHC new housing supply. For details refer to Current version of LAHC Design Requirements.						
GFA* – gross floor area calculated as per relevant Planning Instrument						
Orange LEP: Sum of the floor area of each floor of a building measured from the internal face of external walls						
AREA* – Dwelling floor area includes internal walls but excludes external walls						
POS* – Private open space						
Type* – E.g. Universal/non-universal						
Solar Orientation* - % with min 3hours of direct sunlight into living areas and private open space						

Heck.



SITE PLAN - OPTION 3d
1:200













PLANT SCHEDULE

REFLECT TO LANDSCAPE PLAN








Code	Latin Name (Common Name - Mature Height)
Trees	
E	Elaeocarpus reticulatus (Blue berry ash- 8m)
F	Fraxinus griffithii (Evergreen ash- 5m)
M	Pyrus calliandra 'Chanticleer' (Caltrey Pear - 10m)
L	Lagerstroemia indica 'Natchez' (Crepe myrtle - 5m)
P	Pistachio chinensis (Chinese pistachio - 10m)
Shrubs	
Bsf	Buxus sempervirens suffulcosa (Dwarf Box - 1m)
Bj	Buxus microphylla 'Japanica' (Box - 1m)
Cx	Camelia sasanqua (Sasanqua - 3m)
Cb	Callistemon 'Beltier Jany' (Bottlebrush - 1m)
Cci	Casuarina 'Couchii' (Prostrate casuarina - 0.3m)
Cm	Callistemon 'Macarthur' (Bottlebrush - 1.8m)
Gw	Callistemon 'White Azrael' (White Bottlebrush - 1.5m)
Cpa	Grevillea 'Peaches & Cream' (Grevillea - 1.5m)
Gry	Grevillea 'Rytidolia' (Dwarf Grevillea - 1.5m)
Gd	Gardenia augusta (gardenia - 1.2m)
Hf	Hymenocarpus flavum 'Lushious' (Native frangipani - 0.5m)
Lt	Leptospermum 'Cardwell' (Dwarf Tea Tree - 2m)
Mbg	Melaleuca bracteata redwood gine (Bacoelet myrtle - 3m)
M	Melaleuca 'Thymifolia' (Rock Myrtle - 1m)
Mct	Melaleuca 'Dianthus Topi' (Paperbark - 1.2m)
Nd	Nandina 'Gulf Stream' (Nandina - 0.6m)
Pr	Phoinia 'Red Robin' (Phoinia - 2.5m)
Px	Philodendron xanadu (Philodendron - 0.5m)
Rm	Raphioles 'Snow maidens' (Indian Hawthorne - 0.75m)
Rip	Rapidoles 'Onion pearls' (Dwarf Indian Hawthorne - 1m)
Sj	Syzygium australe 'Resister' (Lilly Pilli - 3m)
Wwj	Westringia 'Wynbyrie gem' (Coastal rosemary - 2m)
Groundcovers	
Cm	Clivia miniata ('Kaffir Lily - 0.5m)
He	Hibbertia cassiniae (Gumee flower - climber)
Lg	Litorea 'Evergreen Giant' (Giant liorea - 0.5m)
Lt	Lomandra 'tongareva' Tanks' (Leafy teal dwarf lomandra - 0.6m)
Mj	Myoporum pavidifolium (Creeping Boobiala - 0.2m)
Ty	Trachelyospermum jasminoides (Satin jasmine - 1.3m)

LEGEND	
AB	ARMCO BARRIER
ABH	ARMCO BARRIER WITH HANDRAIL
ANG	CONTINUOUS 100 x 100 x 6 GALVANISED STEEL
ANG-1	PROTECTIVE ANGLE TO WALL LINE. REFER TO DETAILS
B	100 x 100 x 6 GALVANISED STEEL
B-1	PROTECTIVE ANGLE FIXED TO FLOOR EXACT
B-2	POSITION TO BE DETERMINED ON SITE
B-3	STEEL PROTECTIVE BOLLARDS REFER TO DETAILS
B-4	STEEL BOLLARD
B-5	WALL HUNG BASIN - DISABLE COMPLAINT
B-6	WALL HUNG BASIN
B-7	BATTERY CHARGE
B-8	BACK FLASHING
B-9	BROOM FINISHED CONCRETE
B-10	BATTEN VACRY SCREED
BS	CARPET AS SPECIFIED
CA	CEILING ACCESS PANEL
CL	1.8M HIGH COLORBOND FENCE
CLP	CLOTHES LINE
CH	CLOTHES HOOK
CH-1	CEMENT RENDERED FINISH
CS	CLEANERS SHELF
CR	CERAMIC TILE
CW	COMPLETE WITH
DB	ELECTRICAL DISTRIBUTION BOARD
DI	DOWNPIPE - COLORBOND
DPS	DOWNPIPE & SPREADER - COLORBOND
DT	DOOR THRESHOLD REFER TO DETAIL
DW	DISHWASHER SPEC
EAC	EXPOSED AGGREGATE CONCRETE
ED	ELECT. DISTRIBUTION BOARD
EF	REFER TO CLC DOCUMENTS
EW	EXHAUST FAN
EG	EAVES GUTTER
EW	EYE WASH
F	FRIEDE AS SPEC.
F-1	FIXED GLASS
FHR	FIRE HOSE REEL REFER TO HYDRAULIC
FI	ENGINEERS DETAILS
FI-1	FIR INDICATOR PANEL (LOCATED MAIN FLOOR)
FM	RECESSED FLOOR MAT
FW	FLOOR WASTE
G	GRADED DRAIN
GPO-S	SINGLE GENERAL PURPOSE OUTLET
GPO-D	DOUBLE GENERAL PURPOSE OUTLET
GPB	GOAL POST BOLLARDS
GR	GRAB RAIL
HD	HAND DRYER
HTD	HEATED THRESHOLD
HWU	HOT WATER UNIT
HYD	HYDRANT REFER TO HYDRAULIC
LN	ENGINEERS DETAILS
LC	LAMINATED BENCH TOP & CUPBOARDS
LK	LOCKERS
LM	MIRROR
LF	1M HIGH METAL FENCE
MSB	ELECTRICAL MAIN SWITCH BOARD
MF-1	MICROWAVE OVEN AS SPEC.
NS-CT	NON-SLIP CERAMIC TILE
OF	OVERFLOW
PB	PLASTERBOARD LINING
PTD	PAPER TOWEL DISPENSER
RH	RANGE HOOD
RM	RECESSED ENTRY MAT
SCR	SHOWER CURTAIN RAIL
S	COLUMN TO STRUCTURAL
SD	ENGINEERS DETAILS
SD	SUO DISPENSER
SH	1.8M HIGH SLAT-SCREEN FENCE
SH-1	WALL SHELF
SK	SEWER STACK REFER TO HYDRAULIC
SK-1	ENGINEERS DETAILS
SK-2	STAINLESS STEEL SINK
SK-3	CLEANER SINK
SMP	BOX GUTTER SUMP & OVERFLOW
STF	STEEL TROWEL FINISHED CONCRETE
STR	STRUCTURAL RAIL
TS-1	TREE PROTECTION ZONE
TPZ	TACTILE INDICATOR
TR	THRESHOLD RAMP
TM	TIMBER FLOORING
TP	TOILET PARTITIONS
TPH	TOILET PAPER HOLDER
TRS	TRANSLUCENT ROOF SHEETING
TS-1	TAP SET - DISABLING RASHIROOM
TS-2	TAP SET - DISABLE COMPLAINT
TS-3	TAP SET - KITCHEN
TS-4	TAP SET - CLEANERS
TS-5	MOP & BROOM SHELF
U	VINYL
V	VENT PIPE
VTY	REFER TO HYDRAULIC DOCUMENTS
VNT	VANITY UNIT
WB	WORK BENCH
WC-1	TOILET PAN / SUITE
WC-2	TOILET PAN / SUITE - DISABLE COMPLAINT
WC-3	TOILET PAN / SUITE AMBULANT
WG	WHEEL GUIDE
WT	WASH TROUGH
WU	WALL HUNG URINAL
WU-1	WHEEL STOP
XP	EPOXY FLOORING

Legend - Site

	Extent of site boundary
	Proposed 1 bed dwelling
	Proposed 2 bed dwelling
	Landscape area
	Footpath, Driveway and Car Park area
	Deep soil zone
	Ceramic Non-Slip Tiles
	Existing trees to remain. Refer also to Arborist report
	Existing trees to be removed. Refer also to Arborist report
	Stormwater pit. Refer also to drainage drawing
	Existing level. Refer also to survey
	Proposed levels. Refer also to drainage drawing

LEGEND - PLAN

      	<p>Ground Floor External Walls and Party Walls: Nom. 270mm thick cavity brick wall, finish as specified</p> <p>First Floor External Wall: Nom. 240mm thick brick veneer wall, finish as specified</p> <p>Nom. 90mm stud framed wall, c/w metal cladding fixed on battens, finish as specified.</p> <p>Ground Floor Internal Walls: Nom. 110mm masonry wall, c/w 13mm plasterboard / FC lining both sides of framing, set ready for selected paint finish.</p> <p>First Floor Internal Walls: Nom. 130mm stud framed wall, c/w 13mm plasterboard / FC lining both sides of framing, set ready for selected paint finish.</p> <p>Non-slip ceramic floor tiles. Refer to finishes schedule</p> <p>Ceramic floor floor tiles. Refer to finishes schedule</p> <p>Carpet / vinyl floor finish. Refer to finishes schedule</p>
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FCL 3.100 Proposed floor levels.

BASIS REQUIREMENTS

- Shower to have a min rating of 4 stars (>4.5 but <=6.0 L/min)
- Toilet flushing system to have a min rating of 4 stars
- Taps for kitchens and bathrooms to have a min rating of 5 stars
- Hot water units to be gas instantaneous system with a min rating of 6 stars
- Provide gas ceiling fan and electric oven to all units
- Provide ceiling fan to main bedroom and living room to all units

Common Areas:

- Rainwater tank to be a min of 17000 Litres and be of a central rain water tank, located at a min of 400sqm of ground area. Landscape connection to all ground level units and common landscape area. Toilet and Laundry connection to all units
- Solar panels to be provided with a min electrical output of 1.1 peak kW

NathThermal Performance Specification - Orange				
External Walls				
Wall Type	Insulation	Colour	Comments	
Brick Veneer	R2.7	Med - SA 0.475 - 0.70	Units 1, 2, 5 & 6 per the elevations	
Cavity Brick	R1.4	Med - SA 0.475 - 0.70	Units 3 & 4 as per the elevations	
Metal Clad	R2.7	Light - SA < 0.475 Med - SA 0.475 - 0.70 SA - Solar Absorbance	All units as per the elevations	
Internal Walls				
Wall Type	Insulation	Comments		
Plasterboard Stud	None	Internally in units 1, 2, 5 & 6 except below		
Plasterboard Stud	R1.5	Bathroom wall of unit 2		
Single skin Brick	None	Internally in units 3 & 4 except below		
Single skin Brick	R1.5	Bathroom wall of unit 3 and 4		
Cavity Brick	None	Party walls between units		
Cavity Brick	None	Shared walls with lobby/stairs/lift		
Floors				
Floor Type	Insulation	Comments		
Concrete slab on ground	None	Ground Level		
Concrete	None	Level 1		
Ceiling Type	Insulation	Ceilings	Comments	
Plasterboard	R2.7	All exposed ceiling throughout except for unit 2		
Plasterboard	R3.5	Exposed ceiling of unit 2		
Insulation loss due to downlights has not been modelled in this assessment. A sealed exhaust fan has been included in every kitchen, bathroom, laundry and ensuite.				
Roof				
Roof Type	Insulation	Colour	Comments	
Metal	R1.3 foil-faced blanket	Light - SA < 0.475 SA - Solar Absorbance	All exposed roof throughout	
Glazing				
Opening Type	U-Value	SHGC	Glazing & Frame Type	
Sliding + Fixed	4.3	0.53	e.g. Single glazed ComfortPlus clear Aluminium Frame	
Awning	4.3	0.47	e.g. Single glazed ComfortPlus clear Aluminium Frame	
U and SHGC values are based on the AFRC Default Windows Set. Glazing systems to be installed must have an equal or lower U value and a SHGC value ± 10% of the above specified values.				
Skylights				
Skylight Type	Frame Type		Comments	
Fixed - Single glazed clear	Timber & Aluminium		U1	



GROUND FLOOR PLAN
1:100

0 5 10 20 40MM

SCALE FOR PRINTING PURPOSE ONLY

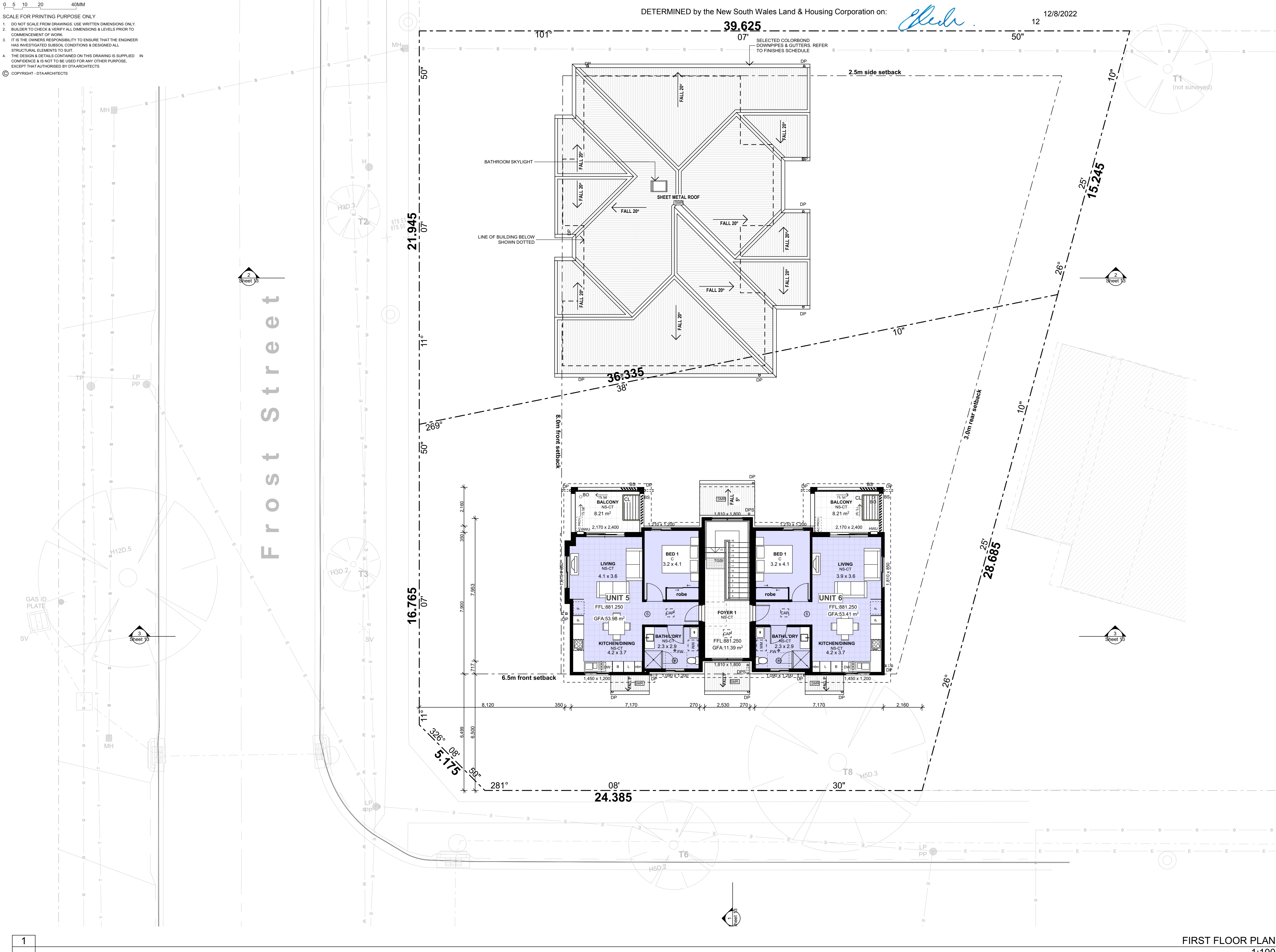
- DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
- BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
- THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY DTA ARCHITECTS

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DETERMINED by the New South Wales Land & Housing Corporation on:

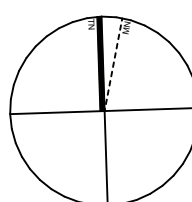
39.625

12/8/2022



LEGEND

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ABH	ARMCO BARRIER WITH HANDRAIL
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ANG-1	CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE FIXED TO FLOOR EXACT POSITION TO BE DETERMINED ON SITE
B	STAINLESS STEEL SINK
B-1	VALVE
B-2	WALL HUNG BASIN - DISABLE COMPLIANT
B-3	WALL HUNG URINAL
BC	BATTERY CHARGE
BF	BACK FLASHING
BFC	BROOM FINISHED CONCRETE
BS	BATTEN PRIVACY SCREEN
C	CARPET AS SPECIFIED
CAP	CEILING ACCESS PANEL
CF	1.8M HIGH COLORBOND FENCE
CL	CLOUTING LINE
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CW	COMPLETE WITH
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DPS	DOWNPIPE & SPREADER - COLORBOND
DT	DOOR THRESHOLD REFER TO DETAIL
DW	DISHWASHER AS SPEC.
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EF	REFER TO ELECT. DOCUMENTS
EG	EXHAUST FAN
EE	EAVES GUTTER
EW	EYE WASH
F	FRIDGE AS SPEC.
FG	FIXED GLASS
FHR	FIRE HOSE REEL REFER TO HYDRAULIC ENGINEERS DETAILS
FIR	FIR INDICATOR PANEL (LOCATED MAIN ENTRY)
FIP	FLOOR WASTE
FM	RECESSED FLOOR MAT
FW	FLOOR WASTE
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GPO-S	SINGLE GENERAL PURPOSE OUTLET
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LC	LAMINATED BENCH TOP & CUPBOARDS
LK	LOCKERS
M	MIRROR
MF-1	1M HIGH METAL FENCE
MSB	ELECTRICAL MAIN SWITCH BOARD
MW	MICROWAVE OVEN AS SPEC.
NS-CT	NON-SLIP CERAMIC TILE
OF	OVERFLOW
PF	PLASTERBOARD LINING
PTD	PAPER TOWEL DISPENSER
PH	RANGE HOOD
RM	RECESSED ENTRY MAT
SCR	SHOWER CURTAIN RAIL
SC	COLUMN TO STRUCTURAL ENGINEERS DETAILS
SD	SOAP DISPENSER
SF	1.8M HIGH SLAT SCREEN FENCE
SH	WALL SHELF
SK	SEWER STACK REFER TO HYDRAULIC ENGINEERS DETAILS
SK-1	STAINLESS STEEL SINK
SK-2	CLEANER SINK
SMP	BOX GUTTER SUMP & OVERFLOW
STF	STEEL TROWEL FINISHED CONCRETE
STR	STRUCTURAL ROOT ZONE
TS-1	TREE PROTECTION ZONE
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39.625

DOWNPIPES & GUTTERS, REFER
TO FINISHES SCHEDULE

2.5m side setback

~~T1~~
(not surveyed)

LEGEND

AB	ARMCO BARRIER
ABS	ARMCO BARRIER WITH HANDRAIL
ANG	CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE TO WALL LINE, REFER TO DETAILS
ANG-1	CONTINUOUS 100 x 100 x 6 GALVANISED STEEL PROTECTIVE ANGLE TO WALL LINE, REFER TO DETAILS
	PROTECTIVE ANGLE TO BE DETERMINED ON SITE POSITION TO BE DETERMINED ON SITE
B	SITE PROTECTIVE BOLLARDS REFER FOR DETAILS
B-1	VANITY
B-2	WALL HUNG BASIN - DISABLE COMPLAINT
B-3	WALL HUNG BASIN
B-C	BATTERY CHARGE
B-D	BACK FLASHING
B-F	BROOK FINISHED CONCRETE
BS	BATTEN PRIVACY SCREEN
C	CARPET AS SPECIFIED
CAP	CEILING ACCESS PANEL
CF	1.8M HIGH COLORBOND FENCE
CH	CLOUTINE LACE
CR	CLOTHES HOOK
CS	CEMENT RENDERED FINISH
D	CLEANERS SHELF
E	CERAMIC TILES
CW	COMPLETE WITH
EB	ELECTRICAL DISTRIBUTION BOARD
F	DOWNPIPE - COLORBOND
FD	DOWNPOUR HEADREADER - COLORBOND
DT	DOOR THRESHOLD REFER TO DETAIL
DN	DISHWASHER AS SPEC.
NAC	EXPOSED AGGREGATE CONCRETE
EDB	ELECT. DISTRIBUTION BOARD, REFER TO ELECT. DOCUMENTS
EF	EXHAUST FAN
EG	EAVES GUDDY
EW	EYE WASH
F	FRIDGE AS SPEC.
FG	FRIDGE GLASS
PHR	FIRE RATED DOOR REFER TO HYDRAULIC ENGINEERS DETAILS
FI	FIR INDICATOR PANEL (LOCATED MAIN ENTRY)
FM	RECESSED FLOOR MAT
FW	FLOOR WASTE
G	GRADED GRASS
GPO-S	SINGLE GENERAL PURPOSE OUTLET
GPO-D	DOUBLE GENERAL PURPOSE OUTLET
H	GOAL POST BOLLARDS
GR	GRAB RAIL
HD	HAND DRYER
HTH	HEATED THRESHOLD
HWU	HOT WATER UNIT
L	HYDRANT REFER TO HYDRAULIC ENGINEERS DETAILS
LC	LAMINATED BENCH TOP & CUPBOARDS
LK	LOCKER
M	MIRROR
MS	1.8M ELECTRICAL MISC.
MSB	ELECTRICAL MAIN SWITCH BOARD
MV	MICROWAVE OVEN AS SPEC.
NS-CT	NON-SIP CERAMIC TILE
O	OVERFLOW
PB	PLASTERBOARD LINING
PD	PAPER TOWEL DISPENSER
RH	RANGE HOOD
RM	RECESSED ENTRY MAT
SCR	SHOWER CURTAIN RAIL
SC	COLUMN TO STRUCTURAL ENGINEERS DETAILS
SD	SOAP DISPENSER
SF	1.8M HIGH SLAT SCREEN FENCE
SH	WALL SHELF
SK	SEWER STACK REFER TO HYDRAULIC ENGINEERS DETAILS
SK-1	STAINLESS STEEL SINK
SK-2	CLEANER SINK
SM-P	SOX QUITTER SUNSET & OVERFLOW
STF	STEEL TROWEL FINISHED CONCRETE
STR	STRUCTURAL ROOT ZONE
T	TREE PROTECTION ZONE
TSGI	TACTILE INDICATOR
TR	THRESHOLD RAMP
TM	TIMBER FLOORING
TP	TOILET PARTITIONS
TPH	TOILET PAPER HOLDER
TRS	TRANSLUCENT ROOF SHEETING
TS-1	TAP SET - WASHROOMS
TS-2	TAP SET - DISABLE COMPLAINT
TS-3	TAP SET - KITCHEN
TS-4	TAP SET - CLEANERS
US	MOP & BROOM SHELF
V	VINYL
VP	VENT PIPE
VTY	REFER TO HYDRAULIC DOCUMENTS
WB	VANITY UNIT WORK BENCH
WC-1	TOILET PAN / SUITE
WC-2	TOILET PAN / SUITE DISABLE COMPLAINT
WC-3	TOILET PAN / SUITE AMBULANT
WE	WHEEL GUIDE
WT	WASH TRUGGET
XU-1	WALL HUNG URINAL
XU-2	WHEEL STOP
XU-3	EPOXY FLOORING

ROOF PLAN
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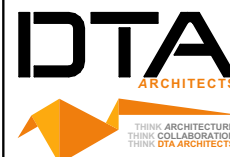
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NOMINATED
ARCHITECTS:

Daniel Donai
NSW ARB No.9068

33.83

Member

B	1/02/2022	REVISED TO COUNCIL COMMENTS
A	16/11/2021	ISSUED FOR DA
REV	DATE	NOTATION/AMENDMENT

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GREENVIEW CONSULTING Pty Ltd

LANDSCAPE CONSULTANT
RAY FUGGLE & ASSOCIATES Pty Ltd
PH 0412 294 712

BUSINESS PARTNER:	
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Planning, Industry & Environment
Land & Housing Corporation
GREATER WESTERN SYDNEY REGION

PROJECT:

GENERAL HOUSING

at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

ROOF PLAN

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Orange.DA03.pln

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9:22 AM

STATUS: DEVELOPMENT ASSESSMENT

DATE: 24/02/2022	SCALE: As shown @ A1	PROJ: BGXUP	JOB: 2021.009
STAGE: C	DRAWN: SD	CHECKED: DD	CERTIFIER: DD
TYPE: A	SHEET: 9 of 17	REV: B	

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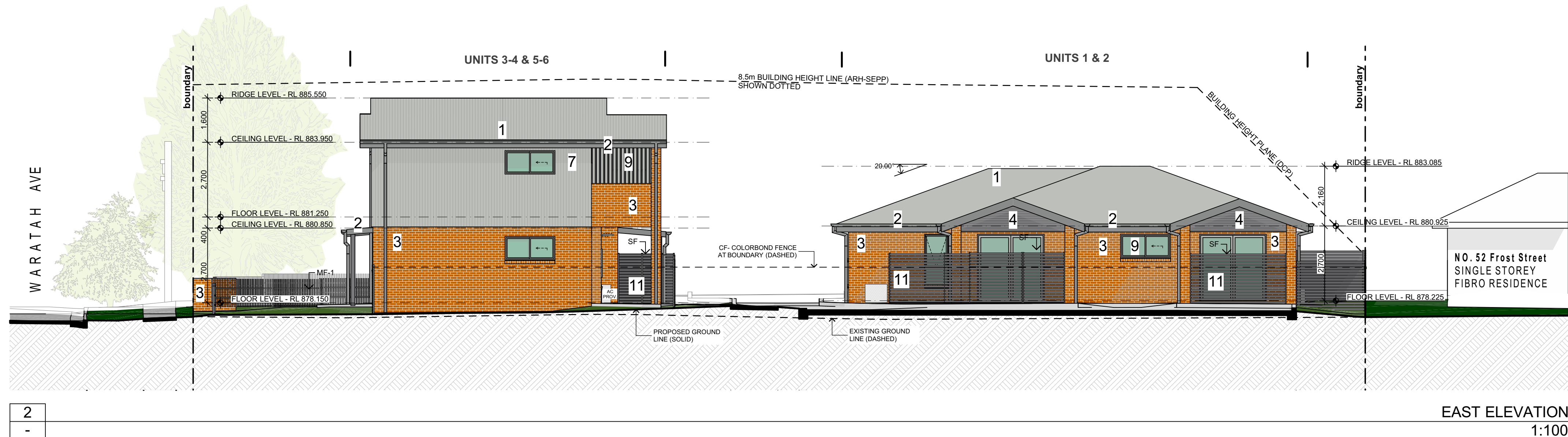
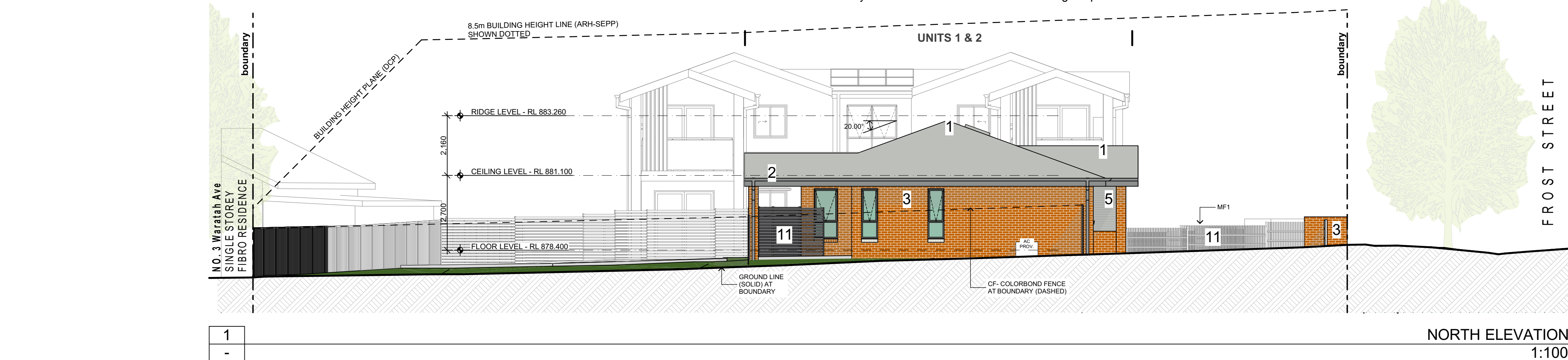
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EXTERNAL FINISHES SCHEDULE

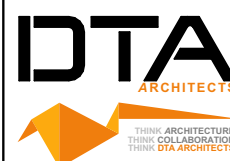
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|----|--|
| 1 | ROOF SHEET (SMR) - Sheet Metal Roof
Profile: Custom Orb - Colorbond Shale Grey |
| 2 | GUTTER / DOWNPIPES / BARGE BOARD / FASCIA
Colorbond, Colorbond Windspray |
| 3 | EXTERNAL WALL -
(FBK1) - Face Brick Type 1
PGH: Range - Classic Collections Foundations,
Name - Pilbara |
| 4 | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Windspray
Horizontal Orientation |
| 5 | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Shale Grey
Horizontal Orientation |
| 6 | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Windspray
Vertical Orientation |
| 7 | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Shale Grey
Vertical Orientation |
| 8 | SOFFIT LINING
Colour - Dulux Vivid White |
| 9 | WINDOW & DOOR FRAMES / BALCONY PRIVACY
SCREEN BATTERS / BALCONY BALUSTRADE FRAME
Powdercoat - Shale Grey |
| 10 | CONCRETE SLAB EDGE
Colour - Dulux Shale Grey |
| 11 | SLAT SCREEN COURTYARD FENCE (SF) / FRONT METAL
FENCE (MF1) / COLORBOND FENCE (CF).
Aluminium Powdercoat - Basalt |



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PHONE No (02) 9354 1880

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NOMINATED ARCHITECTS:

Daniel Donal
NSW ARB No 9068



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A	16/11/2021	ISSUED FOR DA
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HYDRAULIC

ABEL & BROWN Pty Ltd
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GREENVIEW CONSULTING Pty Ltd
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RAY FUGGLE & ASSOCIATES Pty Ltd
PH 0412 294 712

BUSINESS PARTNER



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GREATER WESTERN SYDNEY REGION

PROJECT:

GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE: ELEVATIONS

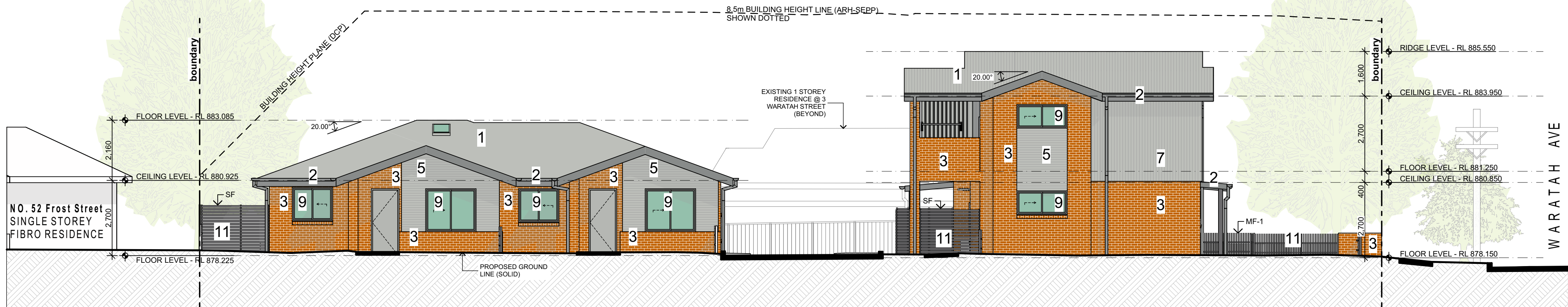
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STAGE: C
DRAWN: SD
CHECKED: DD
PLOTTED: 24/02/2022
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STATUS: DEVELOPMENT ASSESSMENT

DATE	SCALE	PROJ	JOB
24/02/2022	As shown @ A1	BGXUP	2021_009
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV	
A	10 of 17	B	

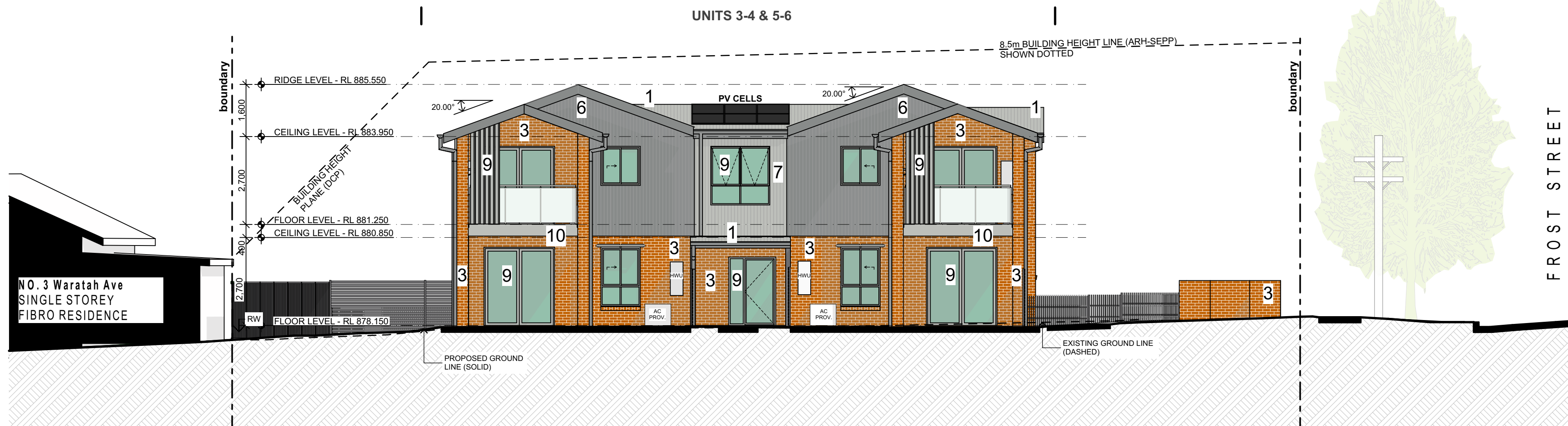
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12/8/2022



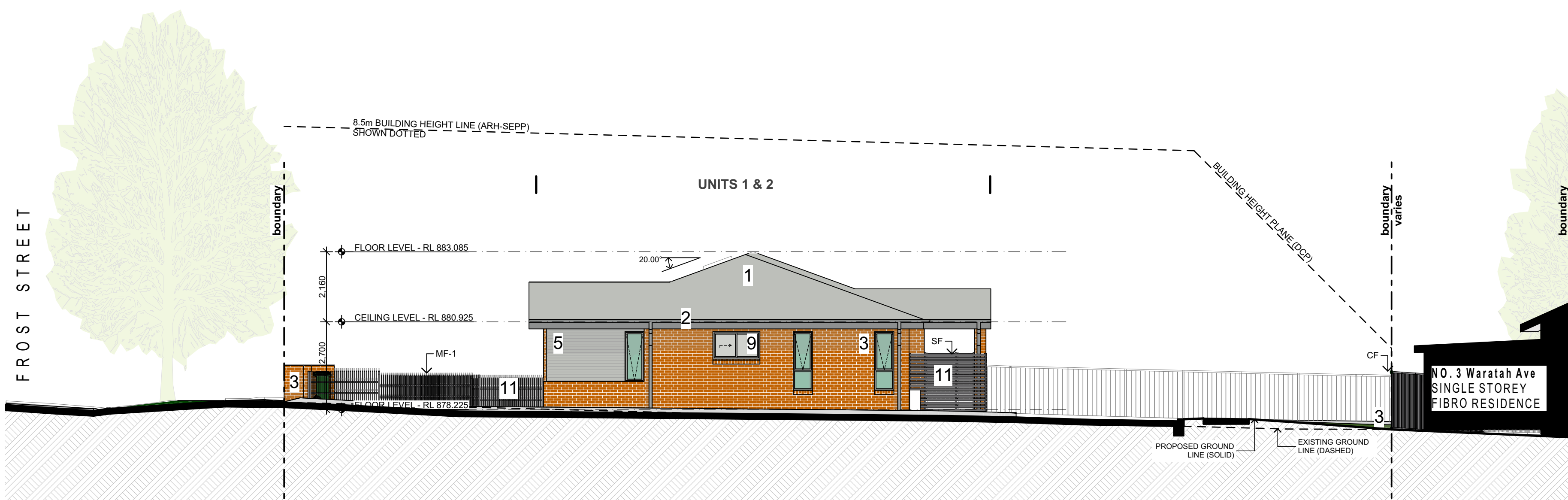
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NORTH INTERNAL ELEVATION



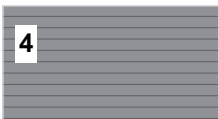
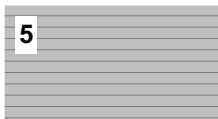






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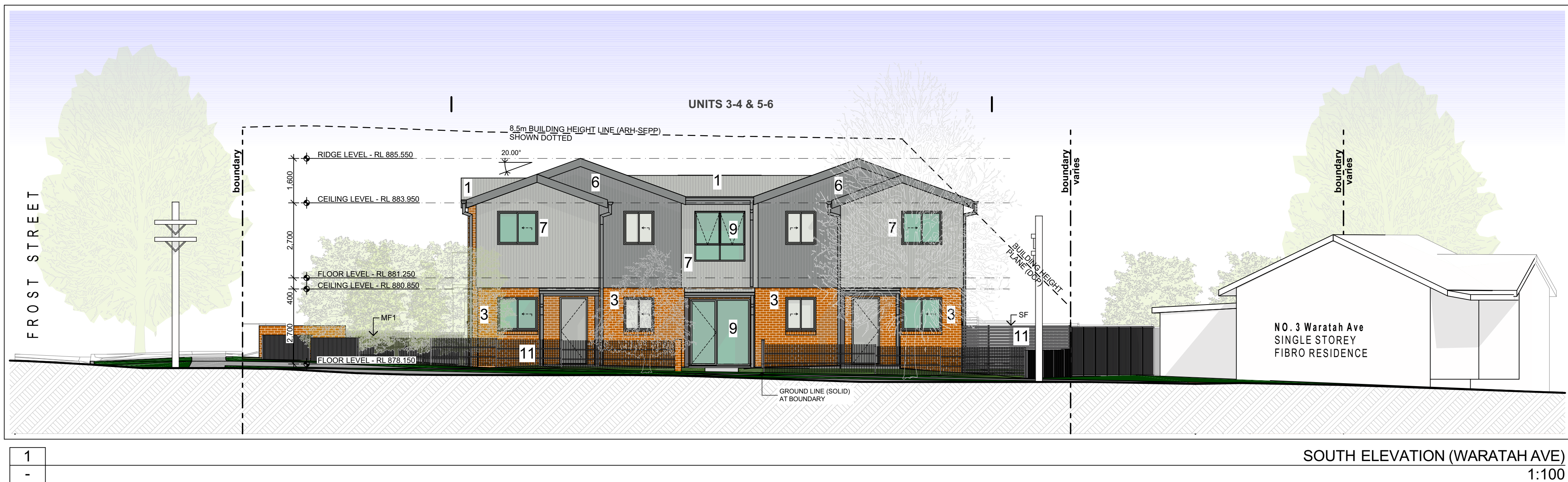
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1 ROOF SHEET (SMR) - Sheet Metal Roof
Profile: Custom Orb - Colorbond Shale Grey





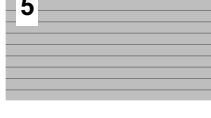






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|----|---|--|
| 2 |  | GUTTER / DOWNPIPES / BARGE BOARD / FASCIA
Colorbond, Colorbond Windspay |
| 3 |  | EXTERNAL WALL -
(FBK1) - Face Brick Type 1
PGH: Range - Classic Collections Foundations,
Name - Pilsara |
| 4 |  | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Windspay
Horizontal Orientation |
| 5 |  | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Shale Grey
Horizontal Orientation |
| 6 |  | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Windspay
Vertical Orientation |
| 7 |  | WALL CLADDING (MC1) - Metal Wall Cladding
Custom Orb, Shale Grey
Vertical Orientation |
| 8 |  | SOFFIT LINING
Colour - Dulux Vivid White |
| 9 |  | WINDOW & DOOR FRAMES / BALCONY PRIVACY
SCREEN BATTENS / BALCONY BALUSTRADE FRAME
Powdercoat - Shale Grey |
| 10 |  | CONCRETE SLAB EDGE
Colour - Dulux Shale Grey |
| 11 |  | SLAT SCREEN COURTYARD FENCE (SF) / FRONT METAL
FENCE (MF1) / COLORBOND FENCE (CF).
Aluminium Powdercoat - Basalt |

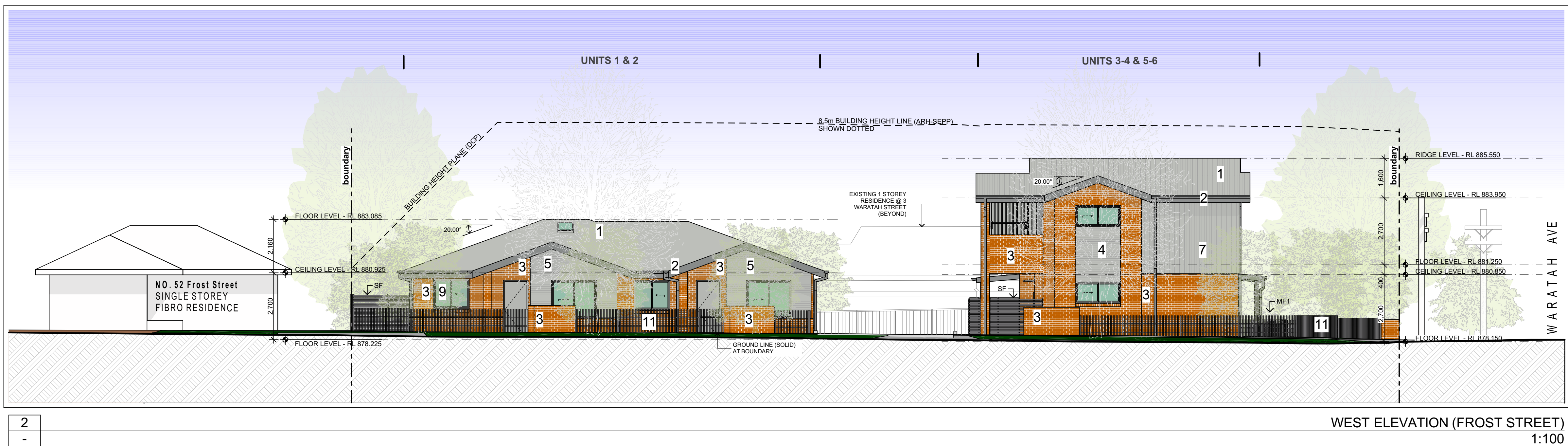
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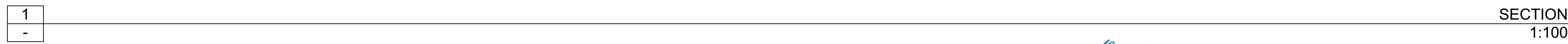
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EXTERNAL FINISHES SCHEDULE

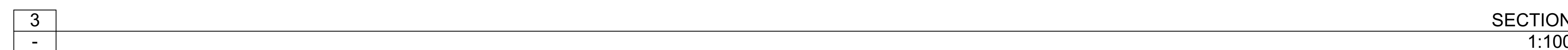
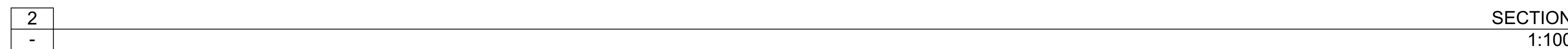
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2		GUTTER / DOWNPIPES / BARGE BOARD / FASCIA Colorbond, Colorbond Windspray
3		EXTERNAL WALL - (FBK1) - Face Brick Type 1 PGH: Range - Classic Collections Foundations, Name - Pilbara
4		WALL CLADDING (MC1) - Metal Wall Cladding Custom Orb, Windspray Horizontal Orientation
5		WALL CLADDING (MC1) - Metal Wall Cladding Custom Orb, Shale Grey Horizontal Orientation
6		WALL CLADDING (MC1) - Metal Wall Cladding Custom Orb, Windspray Vertical Orientation
7		WALL CLADDING (MC1) - Metal Wall Cladding Custom Orb, Shale Grey Vertical Orientation
8		SOFFIT LINING Colour - Dulux Vivid White
9		WINDOW & DOOR FRAMES / BALCONY PRIVACY SCREEN BATTENS / BALCONY BALUSTRADE FRAME Powdercoat - Shale Grey
10		CONCRETE SLAB EDGE Colour - Dulux Shale Grey
11		SLAT SCREEN COURTYARD FENCE (SF) / FRONT METAL FENCE (MF1) / COLORBOND FENCE (CF). Aluminium Powdercoat - Basalt





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11 SLAT SCREEN COURTYARD FENCE (SF) / FRONT METAL FENCE (MF1) / COLORBOND FENCE (CF).
Aluminium Powdercoat - Basalt

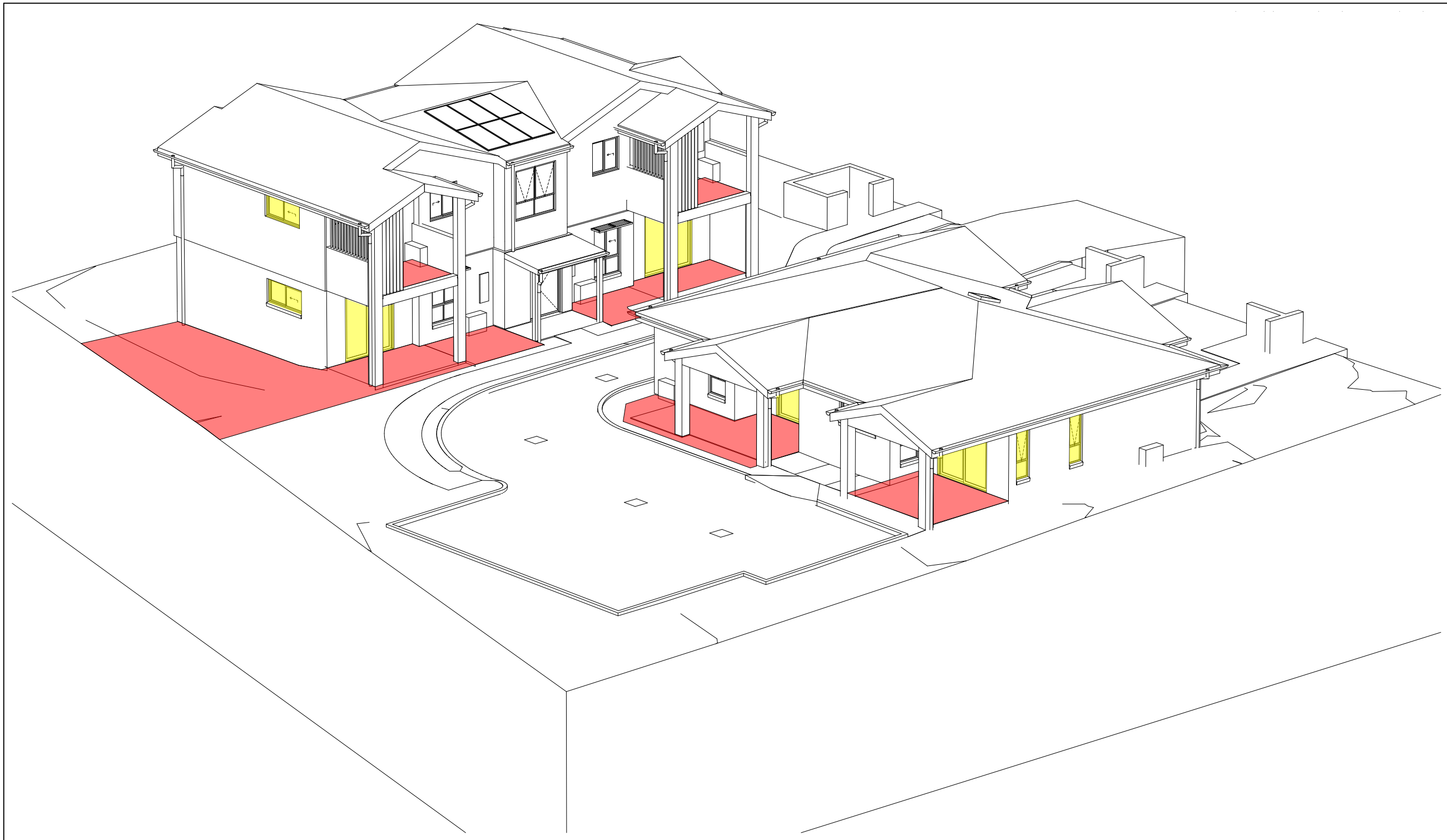
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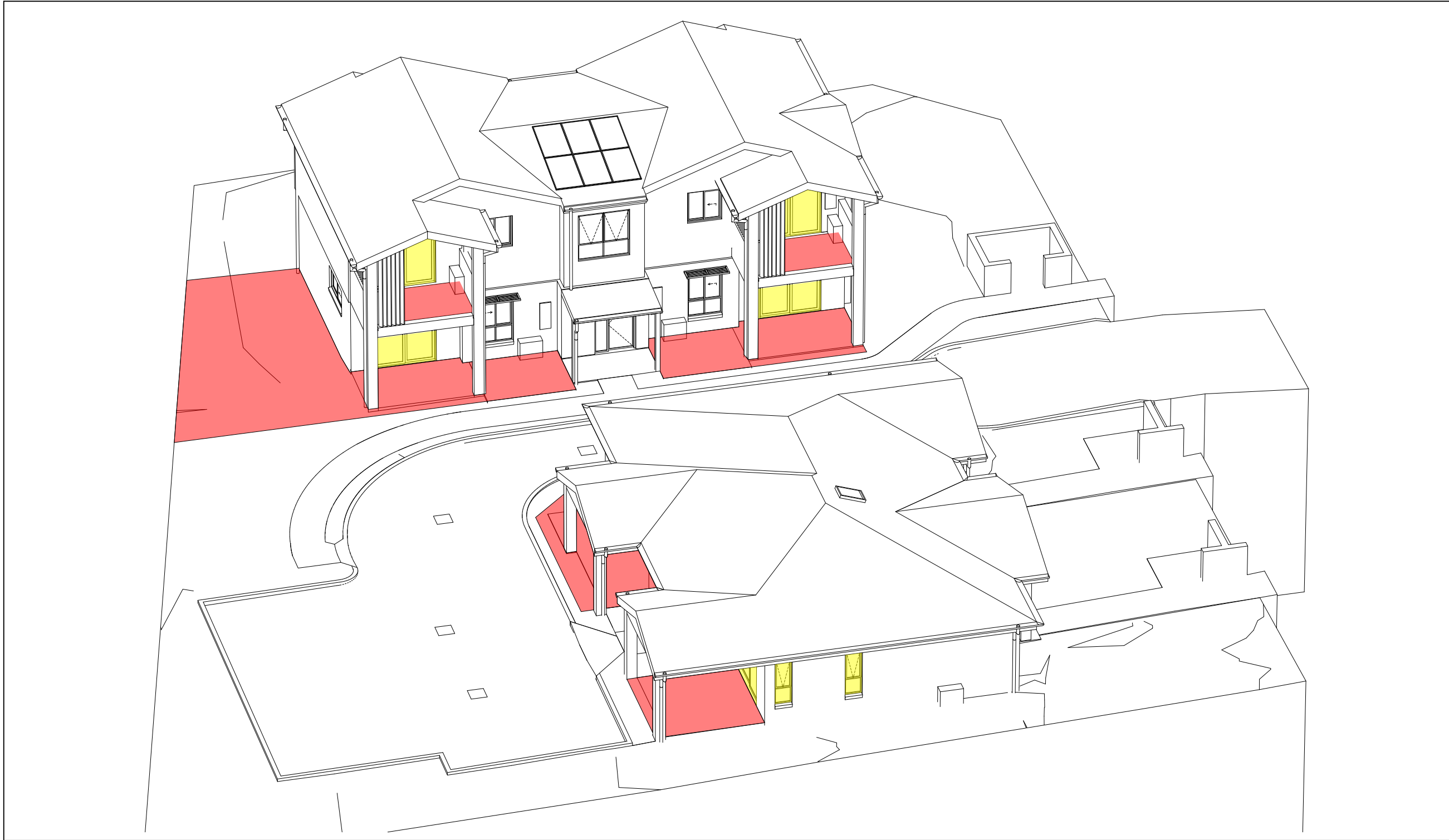
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2
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3
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VIEW FROM SUN - 11am 21st JUNE
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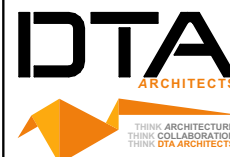
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Australian Institute of Architects

REV	DATE	NOTATION/AMENDMENT
B	1/02/2022	REVISED TO COUNCIL COMMENTS
A	16/11/2021	ISSUED FOR DA
REV	DATE	NOTATION/AMENDMENT
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Land & Housing Corporation
GREATER WESTERN SYDNEY REGION

PROJECT:
GENERAL HOUSING
at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST STREET, ORANGE NSW

TITLE:
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Orange.DA03.ppt
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9:22 AM

STATUS: DEVELOPMENT ASSESSMENT			
DATE 24/02/2022	SCALE As shown @ A1	PROJ BGXUP	JOB 2021.009
STAGE C	DRAWN SD	CHECKED DD	CERTIFIER DD
TYPE A	SHEET 14 of 17	REV: B	

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12/8/2022



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VIEW FROM SUN - 2pm 21st JUNE
1:142.86



VIEW FROM SUN - 3pm 21st JUNE
1:142.86

	9-10am	10-11am	11-12pm	12-1pm	1-2pm	2-3pm	Hours
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Unit 2							1.5
Unit 3							6
Unit 4							6
Unit 5							5
Unit 6							5

	9-10am	10-11am	11-12pm	12-1pm	1-2pm	2-3pm	Hours
Unit 1							6
Unit 2							2.5
Unit 3							6
Unit 4							6
Unit 5							6
Unit 6							6

0 5 10 20 40MM

SCALE FOR PRINTING PURPOSE ONLY

- DO NOT SCALE FROM DRAWINGS. USE WRITTEN DIMENSIONS ONLY.
- BUILDER TO CHECK & VERIFY ALL DIMENSIONS & LEVELS PRIOR TO COMMENCEMENT OF WORK.
- IT IS THE OWNERS RESPONSIBILITY TO ENSURE THAT THE ENGINEER HAS INVESTIGATED SUBSOIL CONDITIONS & DESIGNED ALL STRUCTURAL ELEMENTS TO SUIT.
- THE DESIGN & DETAILS CONTAINED ON THIS DRAWING IS SUPPLIED IN CONFIDENCE & IS NOT TO BE USED FOR ANY OTHER PURPOSE, EXCEPT THAT AUTHORISED BY DTAARCHITECTS

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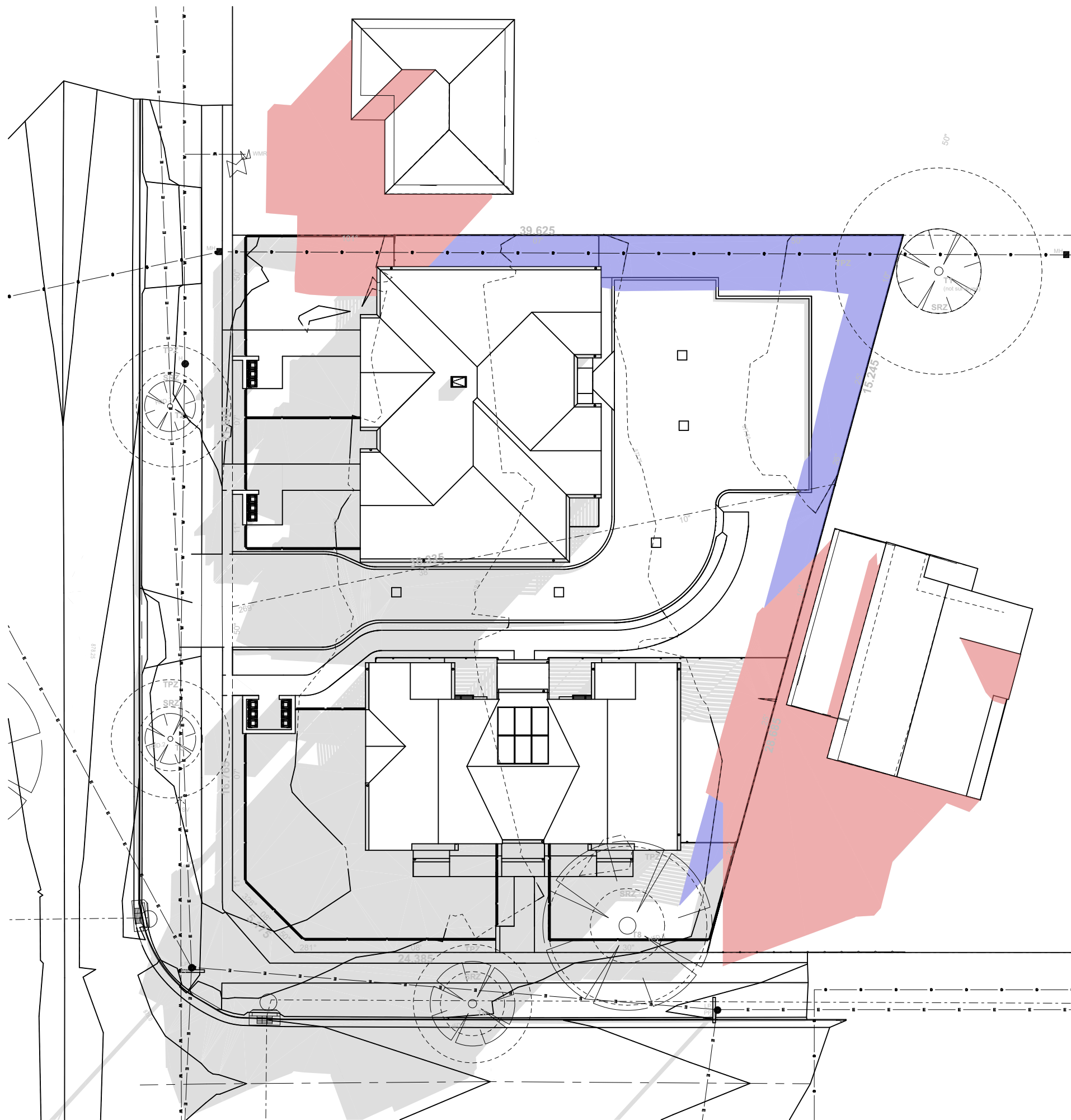
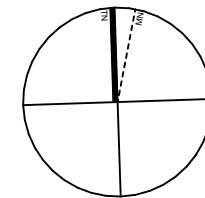
Shadrach

12/8/2022

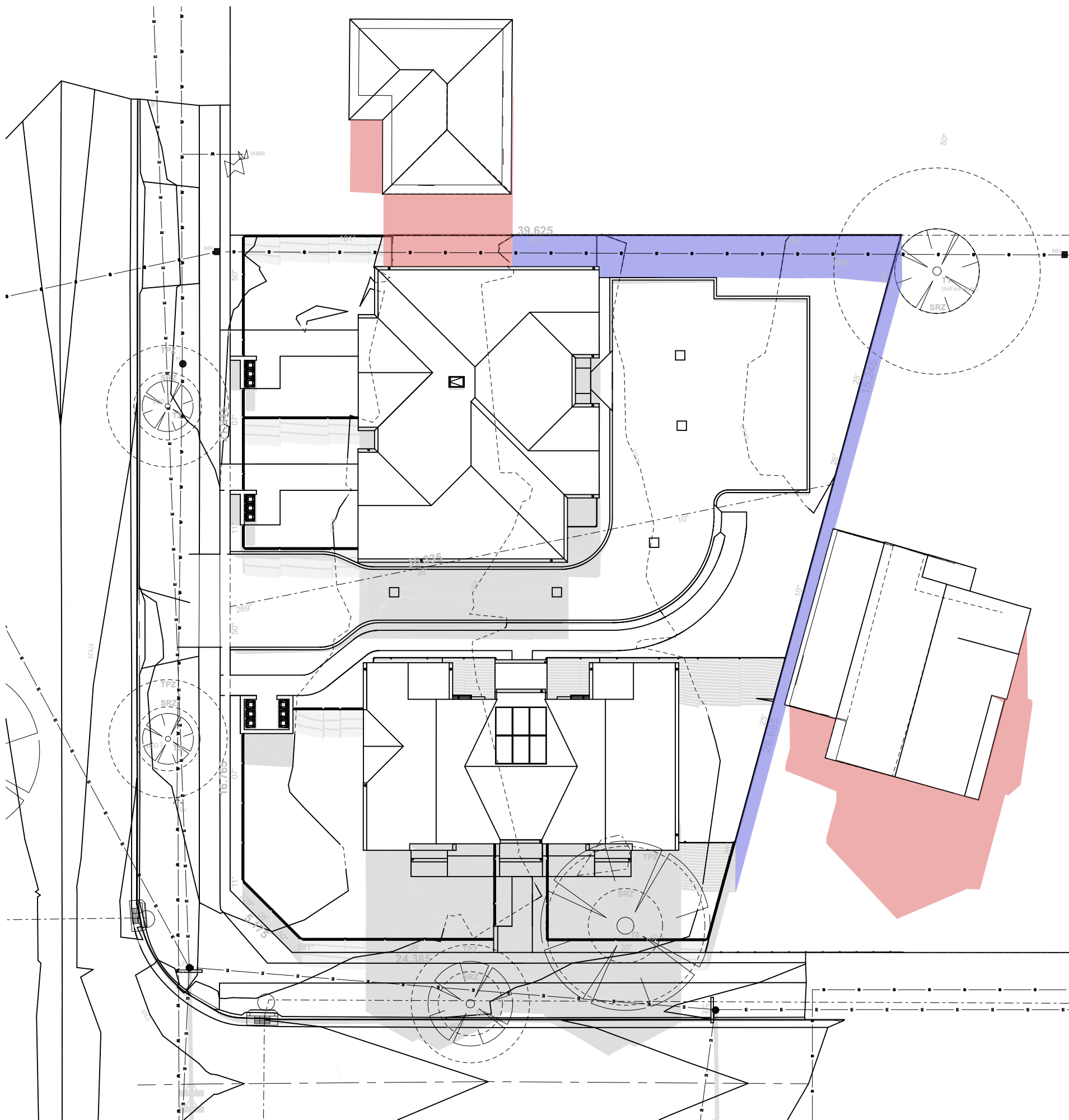
DETERMINED by the New South Wales Land & Housing Corporation on:

LEGEND

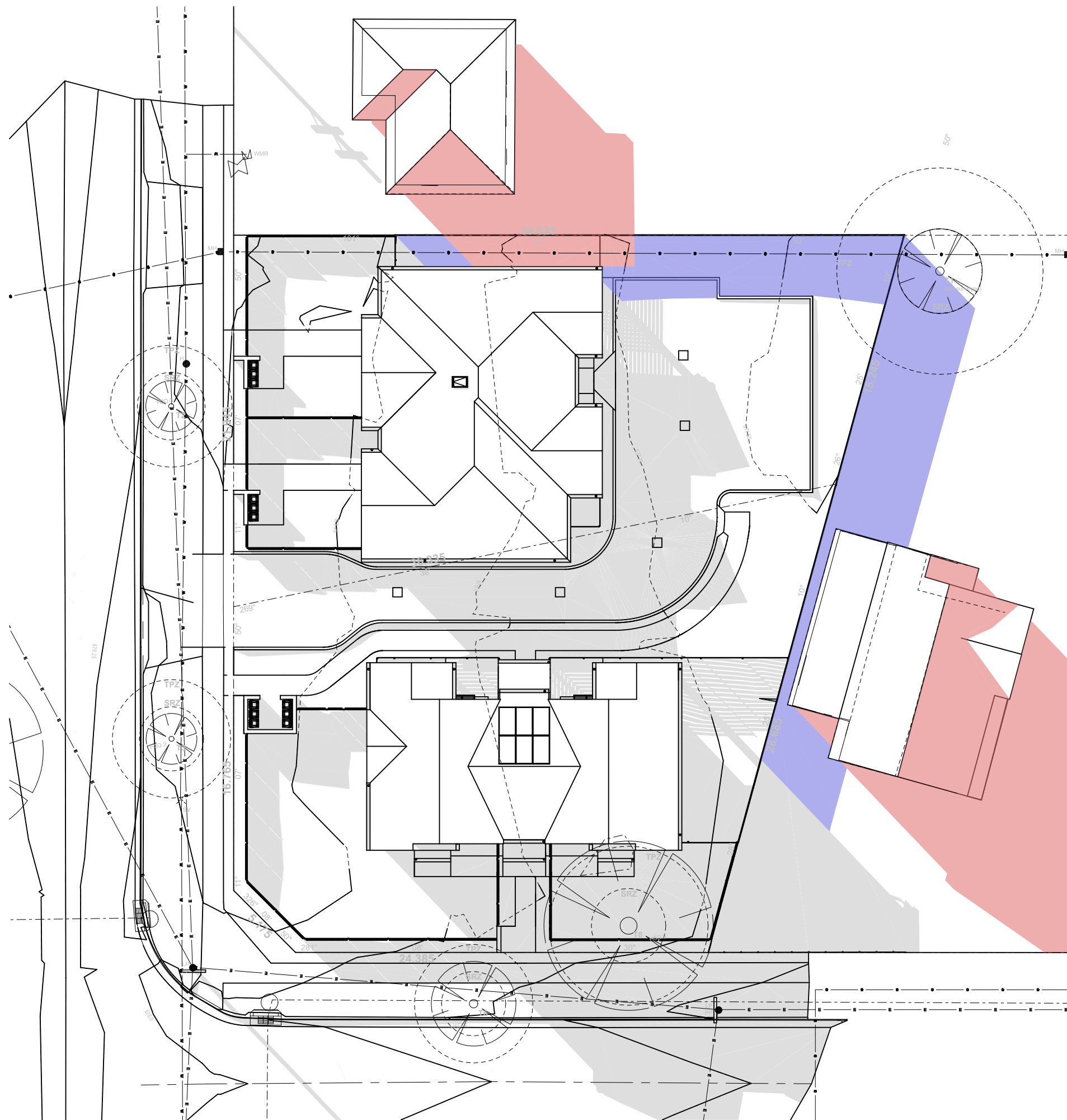
- Grey area indicates shadows cast by proposed development
- Red area indicates shadows cast by neighbouring properties
- Blue area indicates shadows cast by 1.8m high boundary fence



1
- SHADOW DIAGRAM - 9am 21st JUNE
1:250



2
- SHADOW DIAGRAM - 12noon 21st JUNE
1:250



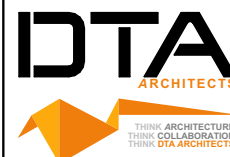
3
- SHADOW DIAGRAM - 3pm 21st JUNE
1:250



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PHONE No (02) 9354 1880

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NOMINATED
ARCHITECTS:

Daniel Donai
NSW ARB No.9068

Member
Australian Institute of Architects

REV	DATE	NOTATION/AMENDMENT
B	1/02/2022	REVISED TO COUNCIL COMMENTS
A	16/11/2021	ISSUED FOR DA
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

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DTA ARCHITECTS Pty Ltd
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LAND & HOUSING CORPORATION
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RAY FUGGLE & ASSOCIATES Pty Ltd
PH (04) 12 294 712

BUSINESS PARTNER



Planning, Industry &
Environment
Land & Housing Corporation
GREATER WESTERN SYDNEY REGION

PROJECT:

GENERAL HOUSING

at
LOT 5 & 6 in DP 36132
1 WARATAH AVENUE & 50 FROST
STREET, ORANGE NSW

TITLE:

SHADOW DIAGRAMS

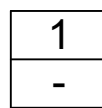
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1\3.2.DA\2021.009.LAHC Waratah St
Orange.DA03.pht

PLOTTED: 24/02/2022
9:22 AM

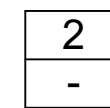
STATUS:

DEVELOPMENT ASSESSMENT

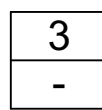
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24/02/2022	As shown @ A1	BGXUP	2021.009
STAGE	DRAWN	CHECKED	CERTIFIER
C	SD	DD	DD
TYPE	SHEET	REV	
A	16 of 17	B	



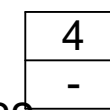
View 1 - Waratah Avenue



View 2 - Corner of Waratah & Frost



View 3 - Frost Street



View 4 - Frost Street

DETERMINED by the New South Wales Land & Housing Corporation on:

12/8/2022

Check.



PHOTOMONTAGE - VIEW FROM FROST STREET

PROPOSED GENERAL HOUSING DEVELOPMENT 1 WARATAH & 50 FROST STREET, ORANGE

HYDRAULIC SERVICES PLAN

Handwritten signature

12/8/2022

SERVICE LEGEND

	STORMWATER DRAINAGE
	SEWER DRAINAGE/SANITARY PLUMBING
	COLD WATER SERVICE
	RAINWATER / RECYCLED WATER REUSE SERVICE WATER SERVICE
	HOT WATER SUPPLY
	GAS SERVICE
	VENT PIPING
	SUBSOIL DRAINAGE
	SILT FENCE

GENERAL HYDRAULIC SERVICES NOTES

- a. **IF IN DOUBT, ASK.** REFER ANY QUESTIONS OR CLARIFICATIONS YOU HAVE PRIOR TO THE CLOSE OF TENDER TO THE HYDRAULIC ENGINEER, ARCHITECT, OR OTHER RELEVANT PARTY. FAILURE TO DO SO DOES NOT ABSOLVE THE CONTRACTOR OF THEIR RESPONSIBILITIES UNDER THE CONTRACT DOCUMENTS.
- b. THE CONTRACTOR SHALL READ AND FULLY FAMILIARISE THEMSELVES WITH THE HYDRAULIC PLANS, HYDRAULIC SPECIFICATION DOCUMENTS, AUSTRALIAN STANDARDS, AND AUTHORITY REQUIREMENTS APPLICABLE TO THE WORKS. CLAIMS DUE TO IGNORANCE OF THE CONTENTS OF HYDRAULIC SERVICES DOCUMENTS AND / OR REQUIREMENTS OF AUSTRALIAN STANDARDS / AUTHORITY REQUIREMENTS WILL NOT BE ENTERED INTO.
- c. THE CONTRACTOR IS REQUIRED TO VISIT AND INSPECT EXISTING SITE STRUCTURES, SERVICES AND CONDITIONS OF THE SITE PRIOR TO SUBMITTING THEIR TENDER AND FAMILIARISE THEMSELVES WITH THE VISIBLE NATURE AND CONDITIONS OF THE SITE RELATIVE TO THE WORKS TO BE CARRIED OUT. CLAIMS DUE TO IGNORANCE OF EXISTING SITE CONDITIONS WILL NOT BE ENTERED INTO.
- d. THE HYDRAULIC SERVICES DRAWINGS AND SPECIFICATION SET OUT THE PROJECT REQUIREMENTS TO BE MET OVER AND ABOVE THE MINIMUM STANDARDS AS SET OUT BY THE RELEVANT AUSTRALIAN STANDARD APPLICABLE TO THAT SERVICE. THE CONTRACTOR SHALL MAKE DUE ALLOWANCE IN THEIR TENDER, AND WARRANTS THAT THEY HAVE MADE DUE ALLOWANCE FOR **ALL** REQUIREMENTS NECESSARY FOR THE EXECUTION OF THE WORKS IN ACCORDANCE WITH THE STANDARDS AS SET OUT BY THE RELEVANT AUSTRALIAN STANDARD APPLICABLE TO THAT SERVICE. THE RELEVANT LOCAL AUTHORITY REQUIREMENTS AND FOR THOSE REQUIREMENTS AS SET OUT IN THE HYDRAULIC SERVICES DRAWINGS AND THE ACCOMPANYING SPECIFICATION.
- e. HYDRAULIC SERVICES DRAWINGS ARE TO BE READ IN CONJUNCTION WITH HYDRAULIC SERVICES SPECIFICATION AND DRAWINGS OF ALL OTHER DISCIPLINES FOR THIS PROJECT. IGNORANCE OF THE CONTENTS OF ANY DOCUMENT RELATIVE TO THE PROJECT SHALL NOT PROVIDE A BASIS FOR ANY VARIATION TO THE CONTRACT.
- f. ALLOW TO OBTAIN ALL APPROVALS AND PAY ALL FEES AND CHARGES TO ALL AUTHORITIES IN RELATION TO THE PROPOSED SERVICE INSTALLATIONS INDICATED ON THE DRAWINGS.
- g. ALLOW TO DISCONNECT & SEAL ALL REDUNDANT HYDRAULIC SERVICES RELATED TO THE INSTALLATION OF THE PROPOSED WORKS TO THE REQUIREMENTS OF THE RELEVANT AUTHORITY..
- h. ALL WORK BE CARRIED OUT IN ACCORDANCE WITH WATER & SEWER AUTHORITY REGULATIONS, SUPERINTENDENTS APPROVAL & HYDRAULIC SPECIFICATION.
- i. DRAINS TO BE SUPPORTED ON OR FROM SOLID GROUND. LOCATION & DEPTH / INVERT LEVEL OF BRANCH SHALL BE VERIFIED ON SITE PRIOR TO COMMENCEMENT OF WORK.
- j. REUSED DRAINS UNDER BUILDINGS SHALL BE RETESTED WHERE DIRECTED BY SUPERINTENDENT.
- k. INSPECTION OPENINGS SHALL BE PROVIDED AT:
- l. THE PROPERTY BOUNDARY
- m. ON EACH WC OR BRANCH
- n. AT MAX. 30m INTERVALS SPREAD EQUIDISTANT WHERE POSSIBLE
- o. IMMEDIATELY UPSTREAM & DOWNSTREAM OF ALL JUMP-UPS
- p. AS REQUIRED BY THE AUTHORITY FOR INSPECTION & MAINTENANCE
- q. ALL SERVICES THAT CROSS PAVEMENTS, FOOTING ETC SHALL BE BACKFILLED WITH GRANULAR MATERIAL TO SUBGRADE LEVEL & COMPACTED TO 95% M.M.D.D.
- r. PROVIDE 80mm COMPRESSIBLE MATERIAL OVER PIPEWORK WHERE CLEARANCE TO UNDERSIDE OF FOOTING IS LESS THAN 150mm UNLESS NOTED OTHERWISE.
- s. ON COMPLETION OF PIPE INSTALLATION, ALL DISTURBED AREAS MUST BE RESTORED TO ORIGINAL CONDITION INCLUDING: KERBS, FOOTPATH, CONCRETE AREAS, GRAVEL AREAS & ROAD PAVEMENTS.
- t. CARE SHALL BE TAKEN WHEN EXCAVATING NEAR EXISTING SERVICES. NO MECHANICAL EXCAVATION SHALL BE MADE OVER AUTHORITY SERVICES, TELSTRA OR ELECTRICAL SERVICES. EXCAVATE BY HAND IN THESE AREAS.
- u. THE PLUMBING CONTRACTOR SHALL OBTAIN ALL AUTHORITY APPROVALS & PAY ALL FEES.
- v. INVERT LEVELS SHOWN ARE INDICATIVE ONLY. CONFIRM ALL LEVELS ON SITE BEFORE COMMENCING INSTALLATION WORK..
- w. ACCESS PANEL ARE TO BE INSTALLED WHERE REQUIRED TO ACCESS CONTROL VALVES IN WATER LINES AS REQUIRED & INSPECTION OPENINGS ON STORMWATER & SEWER RISERS. ACCESS PANELS SHALL MATCH PROPOSED FINISH. REFER TO ARCHITECTURAL DRAWING FOR FINISHES.



CIVIL HYDRAULIC FIRE ENVIRONMENT

DETERMINED by the New South Wales Land & Housing Corporation on:

EXISTING SERVICES NOTES

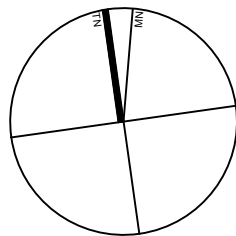
1. SERVICES SHOWN ON HYDRAULIC PLANS HAVE BEEN PLOTTED FROM PLANS AND BY FIELD INSPECTION. THESE SERVICES AND OTHERS MAY NOT BE SITUATED WITHIN REGISTERED EASEMENTS OR WITHIN STANDARD FOOTPATH ALLOCATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO IDENTIFY THE LOCATIONS OF ALL SERVICES PRIOR TO CONSTRUCTION WORKS AND TO AVOID DISTURBANCE OF THESE SERVICES. THE CONTRACTOR IS ADVISED TO CONTACT THE 'DIAL BEFORE YOU DIG' SERVICE TO ASCERTAIN THE LOCATIONS OF ANY EXISTING AUTHORITY SERVICES.
2. THE HYDRAULIC SUBCONTRACTOR SHALL ENSURE THAT AT ALL TIMES SERVICES TO ALL BUILDINGS NOT AFFECTED BY THE WORKS ARE NOT DISRUPTED. PRIOR TO COMMENCEMENT OF ANY WORKS THE CONTRACTOR SHALL GAIN APPROVAL OF THEIR PROGRAMME FOR THE RELOCATION/CONSTRUCTION OF TEMPORARY SERVICES.
3. HYDRAULIC SUBCONTRACTOR SHALL ALLOW TO CONSTRUCT NECESSARY SERVICES TO MAINTAIN SUPPLY TO EXISTING BUILDINGS REQUIRED TO REMAIN IN OPERATION TO THE SATISFACTION AND APPROVAL OF THE SUPERINTENDENT. ONCE DIVERSION IS COMPLETE AND COMMISSIONED THE CONTRACTOR SHALL ALLOW TO REMOVE ALL TEMPORARY SERVICES AND MAKE GOOD TO THE SATISFACTION OF THE SUPERINTENDENT.
4. INTERRUPTION TO SUPPLY OF EXISTING SERVICES SHALL BE DONE SO AS NOT TO CAUSE ANY INCONVENIENCE TO THE PRINCIPAL. CONTRACTOR TO GAIN APPROVAL OF SUPERINTENDENT FOR TIME OF INTERRUPTION.

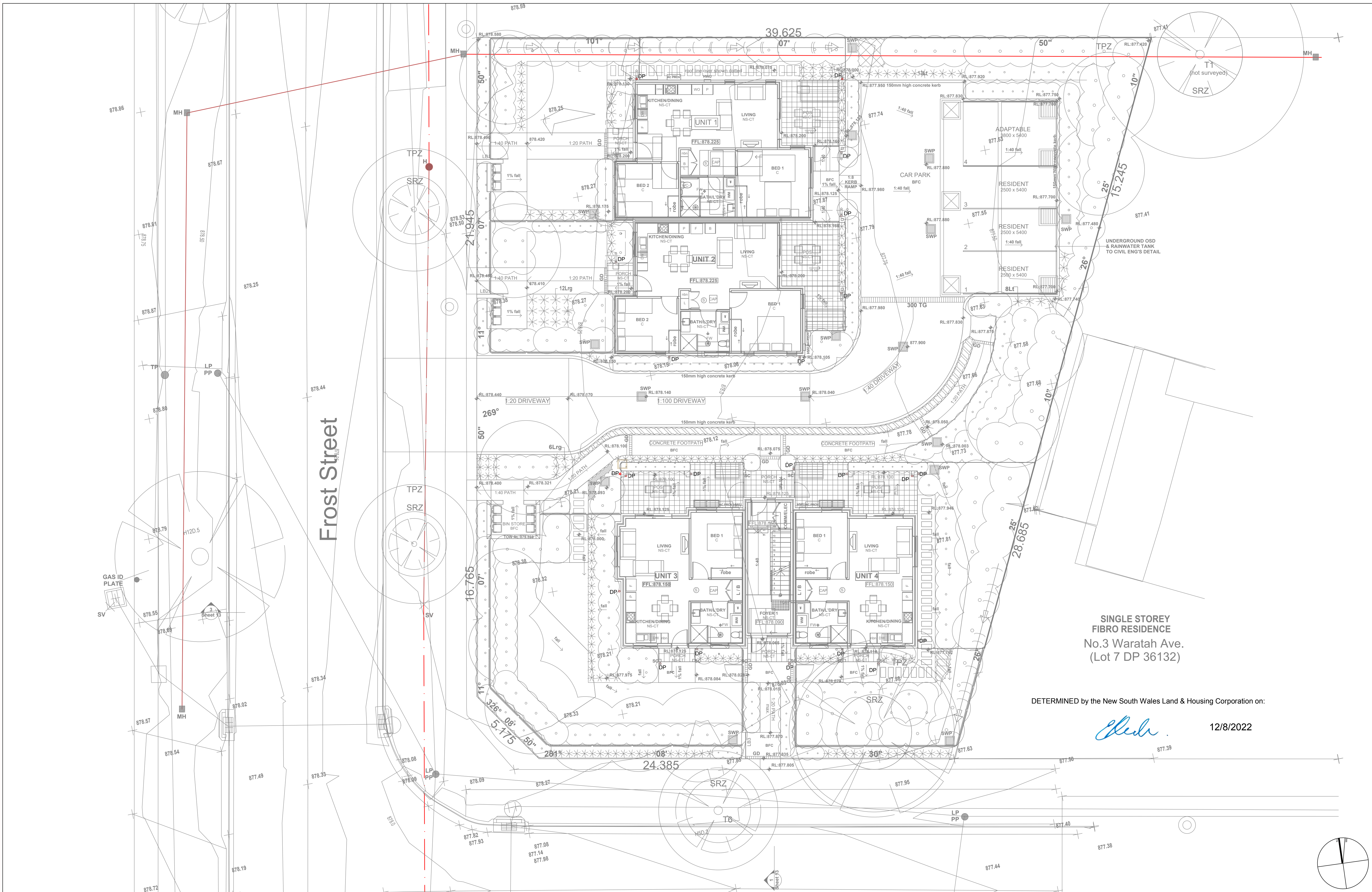
Rainwater Tank Installation requirements

- Administrative requirements**
The plumber is required to apply to Sydney Water for a permit to do the work as they would when connecting any house service plumbing.
- Sydney Water's plumbing inspector must be contacted when work is completed to carry out a final inspection of the property before the Certificate of Compliance is submitted to Sydney Water and the customer.
- Rainwater tank plumbing regulatory requirements**
All plumbing work is to be done or supervised by a licensed plumber in compliance with these guidelines and the NSW Code of Practice: Plumbing and Drainage.
- Under no circumstances is there to be direct connection between the rainwater service and the drinking water service.
- Approved materials**
Materials used in the rainwater tank plumbing must comply with AS/NZS 3500 Part 1 Water Supply Section 2 Materials and Products
- Pipes and labelling**
Pipe materials to be used for rainwater need to be approved products and be clearly and permanently identified 'RAINWATER' continuously along the length. This can be done for below ground pipes by using identification tape (made in accordance with A52648) or for above ground pipes by using adhesive pipe markers (made in accordance with A51345).
- Identification tape marked 'RAINWATER' must be at least 75mm wide. The identification tape is to be installed on top of the rainwater pipeline, running longitudinally, and fastened to the pipe at not more than 3 metre intervals.
- Every rainwater tank outlet must be labelled 'RAINWATER' on a permanent sign. An example is shown in Figure 2. A51319 provides direction as to appropriate layout, size and face materials for signs.
- Proximity to other services**
Rainwater pipes must be separated from any parallel drinking water service.
- Above ground pipes**
Any rainwater pipe installed above ground must be a minimum of 100mm away from any drinking water pipe.
- Below ground pipes**
Any rainwater pipe installed below ground must be a minimum of 300mm away from any drinking water pipe.
- Backflow prevention**
Check that all the following backflow protection is in place:
- Above ground rainwater tanks**
Sydney Water has provided a meter with one containing an integral dual check valve.

FIXTURE LEGEND

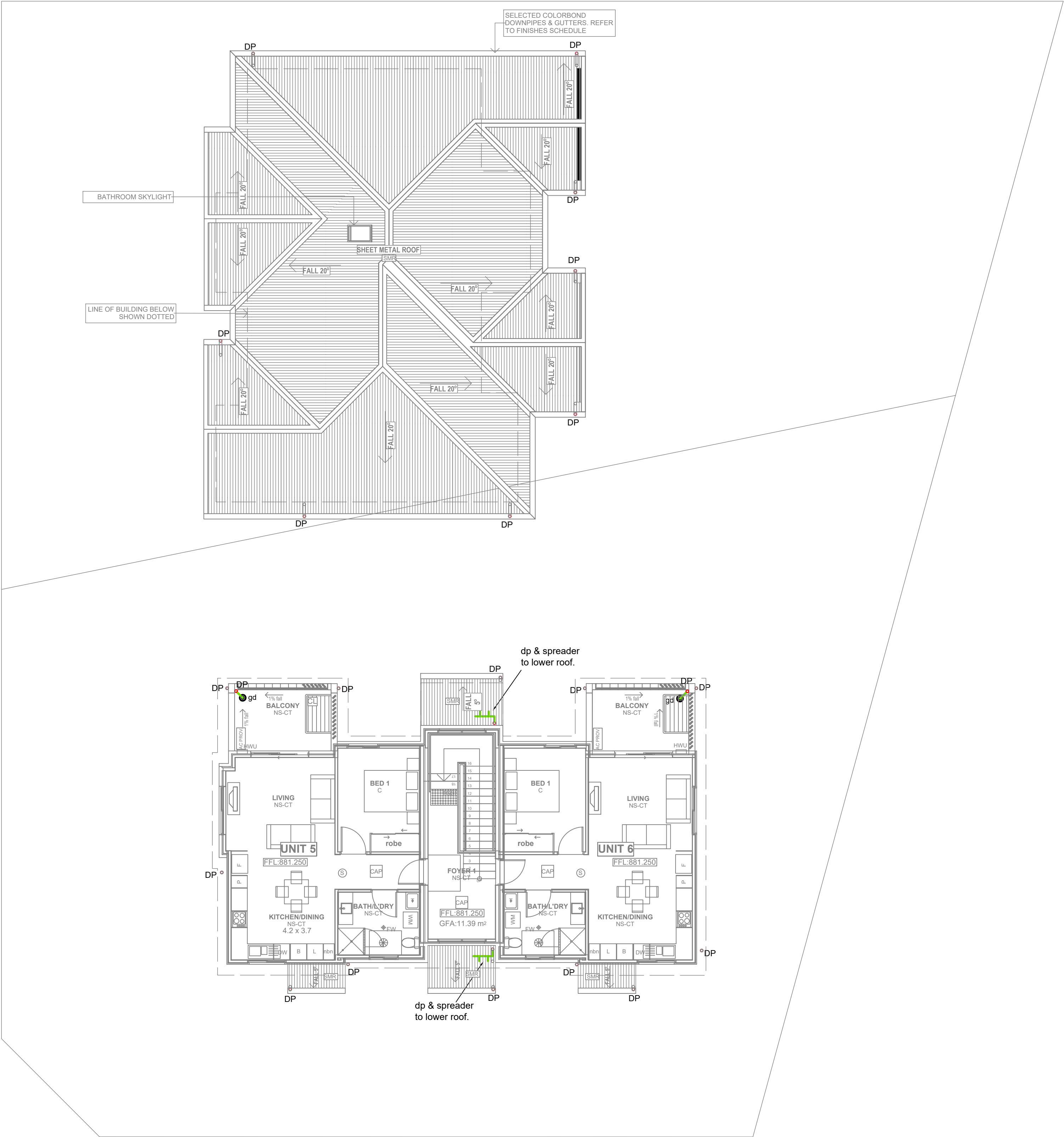
vp	— Vent Pipe	lt	— Laundry Tub
co	— Clearout	wm	— Washing Machine
aav	— Air Admittance Valve	sk	— Sink
fw	— Floor Waste	wc	— Water Closet
bsn	— Basin	co	— Clearout
ht	— Hosetap	gr	— Gas Riser
gd	— Grated Drain	st	— Stack
shr	— Shower	npw	— Non Potable Water
hwh	— Hot Water Heater	dp	— Downpipe
bf	— Bayonet Fitting	cwr	— Cold Water Riser
ct	— Cooktop		





Chlor

DETERMINED by the New South Wales Land & Housing Corporation on: 12/8/2022



NOMINATED ARCHITECT:		F	Feb.22	DA SUBMISSION ISSUE
		D	Oct.21	DA SUBMISSION ISSUE
		C	Aug.21	DA SUBMISSION ISSUE
		B	Aug.21	DA SUBMISSION ISSUE
		A	Jun.21	SKETCH ISSUE
		REV:	DATE:	NOTATION/AMENDMENT:
		DO NOT SCALE OFF DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT: D'ANGELIS TAYLOR + ASSOCIATES Pty. PH (02) 9601 1011 FAX (02) 9621 2213	CONSULTANTS NAME	
	CONSULTANTS NAME	
PROJECT MANAGER LAND & HOUSING CORPORATION PH (02) 8753 8100 FAX (02) 8753 8011	HYDRAULIC CONSULTANT	
	ABEL & BROWN PTY LTD PH (02) 9709 5705 FAX (02) 8796 8401	
ELECTRICAL CONSULTANT CONSULTANTS NAME PH (02) XXXX XXXX FAX (02) XXXX XXXX	LANDSCAPE CONSULTANT	
	CONSULTANTS NAME PH (02) XXXX XXXX FAX (02) XXXX XXXX	

PROJECT:
GENERAL HOUSING DEVELOPMENT
at
1 WARATAH & 50 FROST STREET,
ORANGE NSW

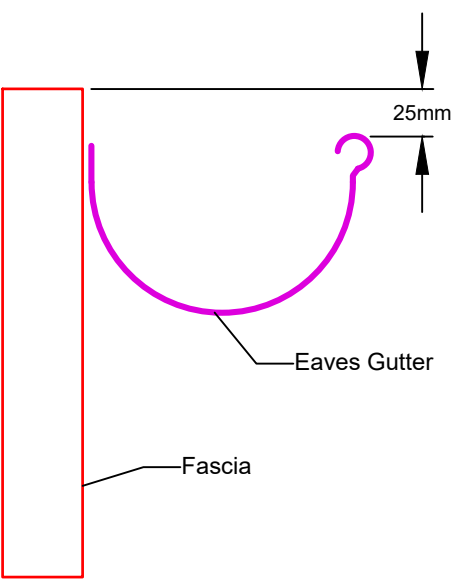
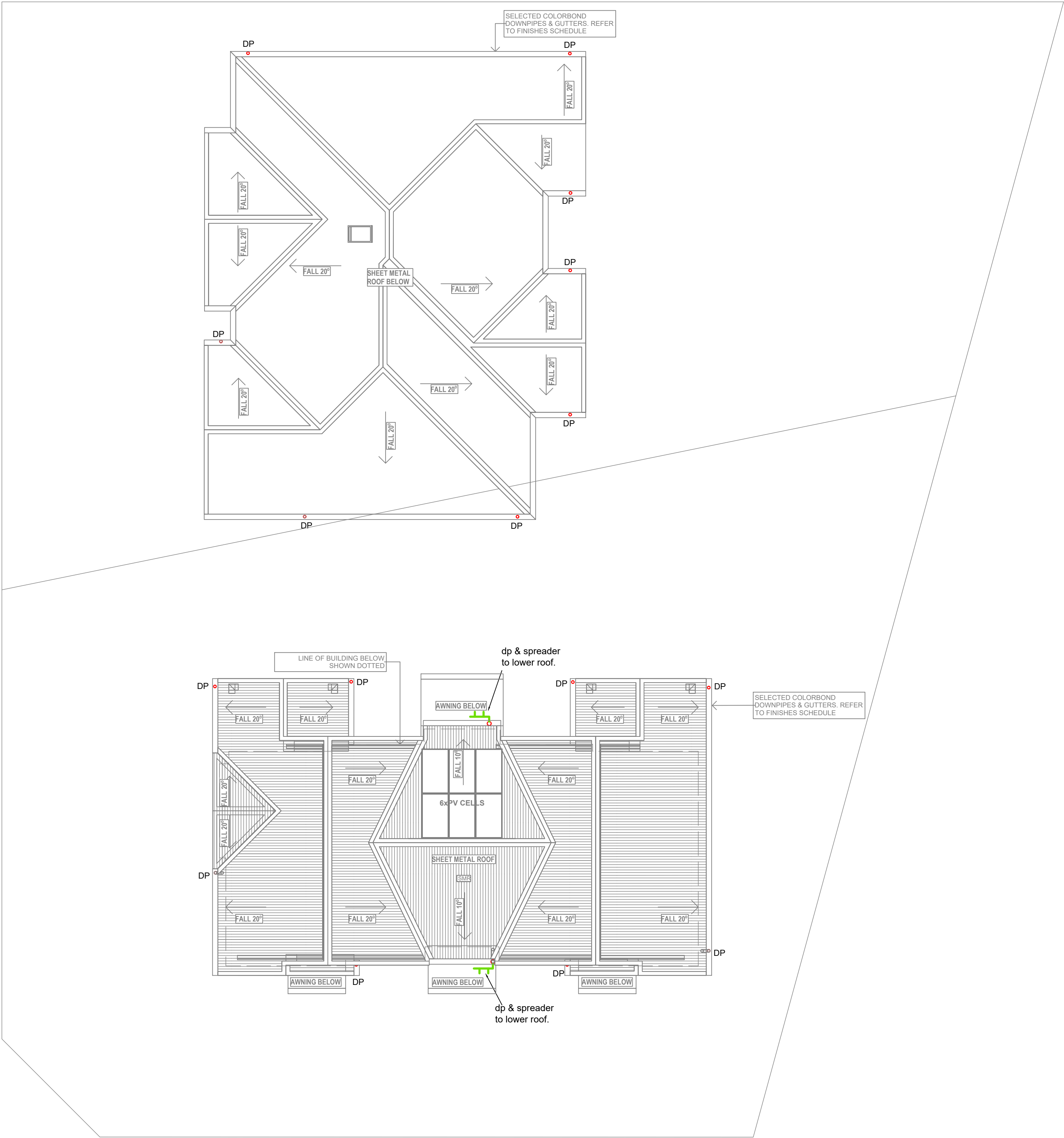
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FILE:	PLOTTED: Feb 25, 2022 - 1:51pm

STATUS: DA SUBMISSION ISSUE			
DATE: JUN. 2021	SCALE: 1:100@A1	PROJ: BGXG4	PROJ No.: 3214
STAGE: DA	DRAWN: NB	CHECKED: SB	APPROVED: SB
TYPE: H	SHEET: 3 OF 4	REV: F	

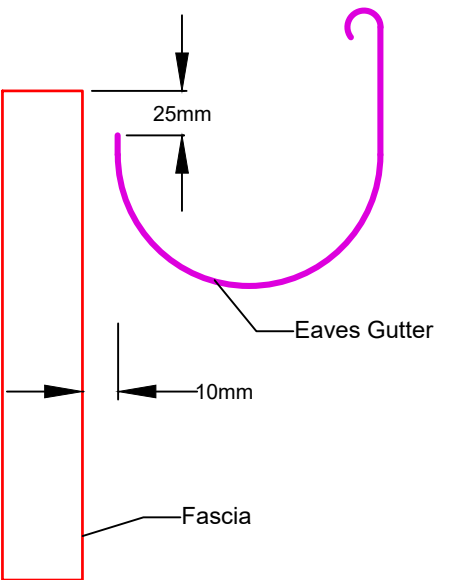
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12/8/2022

DETERMINED by the New South Wales Land & Housing Corporation on:

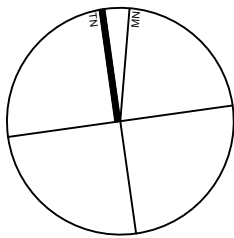


(a) Eaves Gutter with low front



(b) Eaves Gutter with high front and and min. 10mm gap to fascia.

EAVES GUTTER OVERFLOW METHODS
Scale - NTS



NOMINATED ARCHITECT:		F	Feb 22	DA SUBMISSION ISSUE
		D	Oct 21	DA SUBMISSION ISSUE
		C	Aug 21	DA SUBMISSION ISSUE
		B	Aug 21	DA SUBMISSION ISSUE
		A	Jun 21	SKETCH ISSUE
		REV:	DATE:	NOTATION/AMENDMENT:
		DO NOT SCALE OFF DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

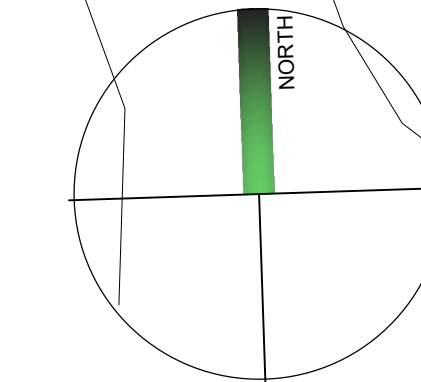
ARCHITECT: DeANGELIS TAYLOR + ASSOCIATES Pty. PH (02) 9691 1011 FAX (02) 9621 2213	STRUCTURAL CONSULTANT CONSULTANTS NAME PH (02) XXXX XXXX FAX (02) XXXX XXXX
PROJECT MANAGER LAND & HOUSING CORPORATION PH (02) 8753 8100 FAX (02) 8753 8011	HYDRAULIC CONSULTANT ABEL & BROWN PTY LTD PH (02) 9789 5705 FAX (02) 8796 8401
ELECTRICAL CONSULTANT CONSULTANTS NAME PH (02) XXXX XXXX FAX (02) XXXX XXXX	LANDSCAPE CONSULTANT CONSULTANTS NAME PH (02) XXXX XXXX FAX (02) XXXX XXXX

PROJECT:
GENERAL HOUSING DEVELOPMENT
at
**1 WARATAH & 50 FROST STREET,
ORANGE NSW**

TITLE: HYDRAULIC SERVICES ROOF PLAN		STATUS: DA SUBMISSION ISSUE			
FILE:	PLOTTED: Feb 25, 2022 - 1:51pm	DATE: JUN. 2021	SCALE: 1:100@A1	PROJ: BGXG4	PROJ No.: 3214
		STAGE: DA	DRAWN: NB	CHECKED: SB	APPROVED: SB
		TYPE: H	SHEET: 4 OF 4	REV:	F

0 5 10 20 40MM
SCALE FOR PRINTING PURPOSE ONLY

FROST STREET



WARATAH STREET LANDSCAPE PLAN 1 : 100



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PARRAMATTA NSW 2124
PHONE NO (02)

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P7	07/02/2022	UPDATED SITE PLAN
P8	17/11/2021	DA ISSUE
P5	26/10/2021	DRAFT DA FOR APPROVAL
P4	02/09/2021	REVISED DA FOR CLIENT REVIEW
P3	25/08/2021	REVISED DA DESIGN
P2	11/08/2021	DA DESIGN
P1	29/06/2021	DETAILED SKETCH ISSUE
REV	10/01/2021	NOT A FORWARDMENT

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

ARCHITECT	DTA ARCHITECTS Pty Ltd PH (02) 9601 1011
PROJECT MANAGER	LAND & HOUSING CORPORATION PH (02) 8544 1880
STRUCTURAL / CIVIL	MSL CONSULTING ENGINEERS Pty Ltd PH (02) 4235 5247

HYDRAULIC	ABEL & BROWN Pty Ltd PH (02) 9709 5705
ELECTRICAL / BASIC CONSULTANT	GREENVIEW CONSULTING Pty Ltd PH (02) 8544 1883
LANDSCAPE CONSULTANT	RAY FUGGLE & ASSOCIATES Pty Ltd PH 04152 294 712



BUSINESS PARTNER:
**Planning, Industry &
Environment**
Land & Housing Corporation
GREATER WESTERN SYDNEY REGION

PROJECT:
GENERAL HOUSING
at
**LOT 5 & 6 in DP 36132
1 WARATAH & 50 FROST STREET,
ORANGE NSW**

TITLE:
LANDSCAPE PLAN

FILE: CAD File: C:\4700s.dwg

STATUS:	DEVELOPMENT ASSESSMENT		
DATE:	07/02/2022	SCALE:	As shown @ A1
STAGE:	C	DRAWN:	HK
TYPE:	L	CHECKED:	RF
DATE:	07/02/2022	PROJECT:	BGXG4
TIME:	1:07 PM	JOB:	2021.009
		CERTIFIER:	DD
		REV:	P7

DETERMINED by the New South Wales Land & Housing Corporation on:

12/8/2022



LEGEND

- turf
Excavate / grade all areas to be turfed to 120mm below required finished levels. Do not excavate within 1500mm of the trunk of any existing tree to be retained. Ensure that all surface water runoff is directed towards inlet pits, kerbs etc. and away from buildings. Ensure that no ponding will occur. Rip the subgrade to 150mm. Install 100mm depth of imported topsoil. Just prior to spreading the turf, spread "Shirley's No. 17 lawn fertilizer" over the topsoil at the recommended rate. Lay "Kikuyu" turf rolls closely butted. Fill and small gaps with topsoil. Water thoroughly.
- brick garden edging
Lay a single course of paving bricks in a mortar haunch (200mm wide and 100mm deep). The edges are to be laid in even curves and straight lines as shown on the plan. Where tight curves are shown use half bricks to show a more even curve. The top of the edges to finish flush with the adjacent turf and mulch levels.
- existing trees to be removed
For additional information regarding trees to be removed refer to the Arborists report prepared by 'Redgum Horticultural 08/04/2021' Ph No: 02 8847 3586
- existing trees to be retained
For additional information regarding trees to be retained refer to the Arborists report prepared by 'Redgum Horticultural 08/04/2021' Ph No: 02 8847 3586
- stepping stones
Precast concrete stepping stones in decorative gravel mulch
- drainage swale
Refer to Engineers plan and section. Swale to be covered with 75mm depth river pebble mulch (40mm grade)
- planting areas
Ensure that the mass planting areas have been excavated to 300mm below finished levels. Rip to a further depth of 150mm. Supply and install 300mm soil mix. Soil mix to comprise of one part approved compost to three parts topsoil. Topsoil shall be either imported topsoil or stockpiled site topsoil (if suitable ie: No clay). Install 75mm depth of selected mulch.

PLANT SCHEDULE

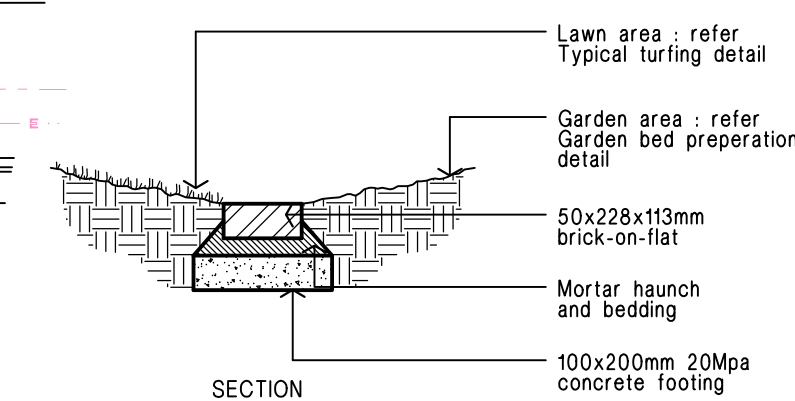
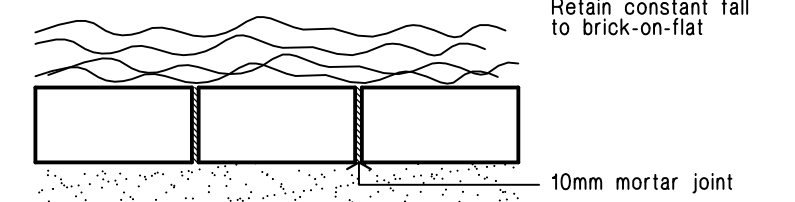
Code	Latin Name (Common Name - Mature Height)	Qty	Size	Stake
■ Trees				
E	Elaeocarpus reticulatus (Blue berry ash - 8m)	2	35 litre	yes
F	Fraxinus griffithii (Evergreen ash - 5m)	2	35 litre	yes
M	Pyrus calleryana 'Chanticleer' (Callery Pear - 10m)	3	35 litre	yes
L	Lagerstroemia indica 'Natchez' (Crepe myrtle - 5m)	4	35 litre	yes
P	Pistachio chinensis (Chinese pistachio - 10m)	2	35 litre	yes
■ Shrubs				
Bsf	Buxus sempervirens 'suffruticosa' (Dwarf Box - 1m)	66	5 litre	-
Bx	Buxus microphylla 'Japanica' (Box - 1m)	10	5 litre	-
Cs	Camellia sasanqua (Sasanqua - 3m)	12	15 litre	yes
Cbj	Callistemon 'Belter John' (Dwarf Bottlebrush - 1m)	29	5 litre	-
Cci	Casuarina 'Cousin it' (Prostrate casuarina - 0.3m)	59	5 litre	-
Cma	Callistemon 'Macarthur' (Bottlebrush - 1.8m)	4	5 litre	-
Cwa	Callistemon 'White Anzac' (White Bottlebrush - 1.5m)	24	5 litre	-
Gpc	Grevillea 'Peaches & Cream' (Grevillea - 1.5m)	1	5 litre	-
Gry	Grevillea 'Rhyolite' (Deua Grevillea - 1.5m)	11	5 litre	-
Gd	Gardenia augusta 'Florida' (Gardenia - 1.2m)	18	5 litre	-
Hyl	Hymenosporum flavum 'Lushious' (Native frangipani - 0.5m)	14	5 litre	-
Lc	Leptospermum 'Cardwell' (Dwarf Tea Tree - 2m)	6	5 litre	-
Mbg	Malealeuca bracteata 'revolution green' (Bracelet myrtle - 3m)	6	5 litre	-
Mt	Malealeuca thymifolia (Rock Myrtle - 1m)	26	5 litre	-
Mct	Malealeuca 'Claret Tops' (Paperbark - 1.2m)	4	5 litre	-
Ngs	Nandina 'Gulf Stream' (Nandina - 0.4m)	32	5 litre	-
Prr	Photinia 'Red Robin' (Photinia - 2.5m)	22	5 litre	-
Px	Philodendron xanadu (Dwarf philodendron - 0.5m)	50	5 litre	-
Rsm	Raphiolepis 'Snow maidens' (Indian hawthorne - 0.75m)	32	5 litre	-
Rip	Raphiolepis 'Oriental Pearl' (Dwarf Indian hawthorne - 1m)	20	5 litre	-
Sre	Syzygium australe 'Resilience' (Lilly Pilly - 3m)	33	5 litre	-
Wwj	Westringia 'Wynabbie gem' (Coastal rosemary - 2m)	15	5 litre	-
■ Groundcovers				
Cm	Clivia miniata (Kaffir lily - 0.5m)	16	150mm pot	-
Hs	Hibbertia scandens (Guinea flower - climber)	4	150mm pot	-
Lrg	Liriope 'Evergreen Giant' (Giant liriopie - 0.5m)	73	150mm pot	-
Lt	Lomandra longifolia 'Tanika' (Fine leaf dwarf lomandra - 0.6m)	65	150mm pot	-

Ground preparation
Grassed area: turf using imported topsoil
Detail.

SINGLE STOREY
FIBRO RESIDENCE
No.3 Waratah Ave.
(Lot 7 DP 36132)

Ground preparation
Planting area using imported topsoil
Detail.

Planting in garden beds
Detail.



Brick garden edge
Detail.

15 - 35 litre Tree planting
Detail.

0 5 10 20 40MM

SCALE FOR PRINTING
PURPOSE ONLY

GENERAL

- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT. ALL DISCREPANCIES SHALL BE REFERRED TO THE OWNER FOR DECISION BEFORE PROCEEDING WITH THE WORK.
- DIMENSIONS SHALL NOT BE OBTAINED BY SCALING THE DRAWINGS.
- SETTING OUT DIMENSIONS SHOWN ON THE DRAWING SHALL BE VERIFIED BY THE CONTRACTOR.
- DURING CONSTRUCTION, THE STRUCTURE SHALL BE MAINTAINED IN A STABLE CONDITION AND NO PART SHALL BE OVER-STRESSED.

STORMWATER DRAINAGE

- STORMWATER DRAINAGE SHALL BE GENERALLY IN ACCORDANCE WITH AS 3500.3.
- PIPES OF 300mm DIA. AND UNDER SHALL BE UPVC TO AS 1254.
- PIPES OF 375mm DIA. AND LARGER SHALL BE FRC OR CONCRETE CLASS 2 TO AS 1342, RUBBER RING JOINTED UNO.
- PIPES UP TO 150mm DIA. SHALL BE LAID AT A MINIMUM GRADE OF 1.0%. PIPES 225mm DIA. AND OVER TO BE LAID AT A MINIMUM GRADE OF 0.5%. UNO. BEDDING MATERIAL TO AS 2032 OR AS 3725 AS APPROPRIATE.
- MINIMUM COVER TO PIPES 300mm DIA. AND OVER GENERALLY SHALL BE 450mm IN CARPARK & ROADWAY AREAS UNO.
- BACKFILL TRENCHES WITH APPROVED FILL, SUCH AS SANDY LOAM, COMPACTED IN 200mm LAYERS TO 98% OF STANDARD DENSITY TO AS 1289.5.1.1.
- ANY PIPES OVER 16% GRADE SHALL HAVE CONCRETE BULKHEADS AT ALL JOINTS IN ACCORDANCE WITH AS 3500.3.2.
- PITS SHALL BE OF REINFORCED CONCRETE CONSTRUCTION AS DETAILED. METAL GRATES AT LEVELS INDICATED ALL PITS DEEPER THAN 1200mm TO HAVE CLIMB IRONS.
- BUILD INTO UPSTREAM FACE OF ALL PITS A 3.0m SUBSOIL LINE FALLING TO PITS TO MATCH PIT INVERT.
- ALL LINES TO BE 100 DIA. AT 1% MIN. GRADE (U.N.O.)
- ALL PITS TO BE BENCHMARKED TO HALF PIPE SECTION AND TO HAVE GALVANISED STEEL GRATES AND SURROUNDS.
- ALL PITS TO BE 600 SQUARE UNLESS NOTED OTHERWISE.
- PITS & DOWNPIPE LOCATIONS AND LEVELS MAY BE VARIED TO SUIT SITE CONDITIONS AFTER CONSULTING THE ENGINEER.
- ALL PLANTER BOXES AND BALCONIES TO BE CONNECTED TO THE PROPOSED STORMWATER DRAINAGE LINE.
- SUBSOIL LINE: PIPES AND FITTINGS SHALL BE PERFORATED PLASTIC TO AS 2439 PART 1. LAY PIPES ON FLOOR OF TRENCH GRADED 1% AND OVERLAY WITH FILTER MATERIAL EXTENDING TO WITHIN 200mm OF SURFACE. PROVIDE FILTER FABRIC OF PERMEABLE POLYPROPYLENE BETWEEN FILTER MATERIAL AND TOPSOIL.

RAINWATER TANK NOTES

- PUMP FOR RAINWATER TANK TO BE CONNECTED TO TOILETS, LAUNDRY AND GARDEN TAP FOR IRRIGATION.
- PUMP MUST HAVE MAINS WATER BACKUP WITH AN APPROVED BACKFLOW PREVENTION DEVICE. DEVICE TO BE ACCESSIBLE FOR TESTING.
- A FIRST FLUSH DEVICE OR FILTER BAG IS TO BE INSTALLED.
- RAINWATER TANK MUST NOT BE CONNECTED TO THE MAIN DRINKING WATER SUPPLY.
- RAINWATER TANK MUST CONTAIN A BYPASS OF THE PUMP IN THE EVENT OF A POWER FAILURE.
- RAINWATER TANK MUST BE CONSTRUCTED IN ACCORDANCE WITH AUSTRALIAN STANDARD. AS/NZ 3500.12-2015: NATIONAL PLUMBING AND DRAINAGE - WATER SUPPLY- ACCEPTABLE SOLUTIONS, WHICH PROVIDES GUIDANCE ON THE DESIGN OF STORMWATER AND RAINWATER REUSE SYSTEMS.
- RAINWATER TANK MUST BE PROVIDED WITH AN AIR GAP (SEE AS/NZ 3500.12 AND AS2845.2)
- RAINWATER TANK MUST BE KEPT WELL MAINTAINED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURING REQUIREMENTS AND THE REQUIREMENTS OF SYDNEY WATER.

BEFORE EXCAVATION FOR PIPEWORK LOCATE DEPTH OF EXISTING SERVICES & CONTACT DIAL BEFORE YOU DIG

ALL EXISTING LEVELS TO BE CONFIRMED ON SITE AND ENGINEER TO BE NOTIFIED PRIOR TO COMMENCEMENT OF WORK.

DEPTH AND LOCATION OF ALL EXISTING SERVICES TO BE CONFIRMED BY BUILDER ON SITE. ENGINEER TO BE NOTIFIED.

OSD SUMMARY

SITE AREA = 1430m²
PRE-DEVELOPMENT IMPERVIOUS AREA = 20%
POST DEVELOPMENT IMPERVIOUS AREA = 59%

PRE-DEVELOPED SITE DISCHARGE

DRAINS ANALYSIS

MINOR 5YR STORM = 0.011/m³
MAJOR 100YR STORM = 0.037/m³

POST-DEVELOPED SITE DISCHARGE

DRAINS ANALYSIS

UN-RESTRICTED SITE DISCHARGE
MINOR 5YR STORM = 0.025/m³
MAJOR 100YR STORM = 0.051/m³

RESTRICTED SITE DISCHARGE

OSD MINOR 5YR STORM = 0.008/m³
MINOR 5YR STORM BYPASS = 0.003/m³
OSD MAJOR 100YR STORM = 0.024/m³
MAJOR 100YR STORM BYPASS = 0.011/m³

STORAGE REQUIRED

100YR = 15.48m³

OSD INTERNAL STORAGE PROVIDED:
= 11.2x3.2x0.5m DEEP = 17.92m³

ORIFICE SIZE

-PROVIDE LOWER LEVEL Ø95mm ORIFICE RESTRICTION (AT INVERT OF OSD TANK RL = 877.00)
-PROVIDE UPPER LEVEL Ø130mm ORIFICE RESTRICTION (AT RL 877.25)

OSD TRIBUTARY AREA

NOT TO SCALE

REDADED DENOTES OSD TRIBUTARY AREA

PRE-DEVELOPMENT OVERLAND FLOWS OF SITE = 988m²

NOT TO SCALE

REDADED DENOTES PRE OVERLAND FLOW AREA

POST-DEVELOPMENT OVERLAND FLOWS OF SITE = 127m² (861m² REDUCTION)

NOT TO SCALE

REDADED DENOTES POST OVERLAND FLOW AREA

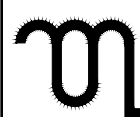
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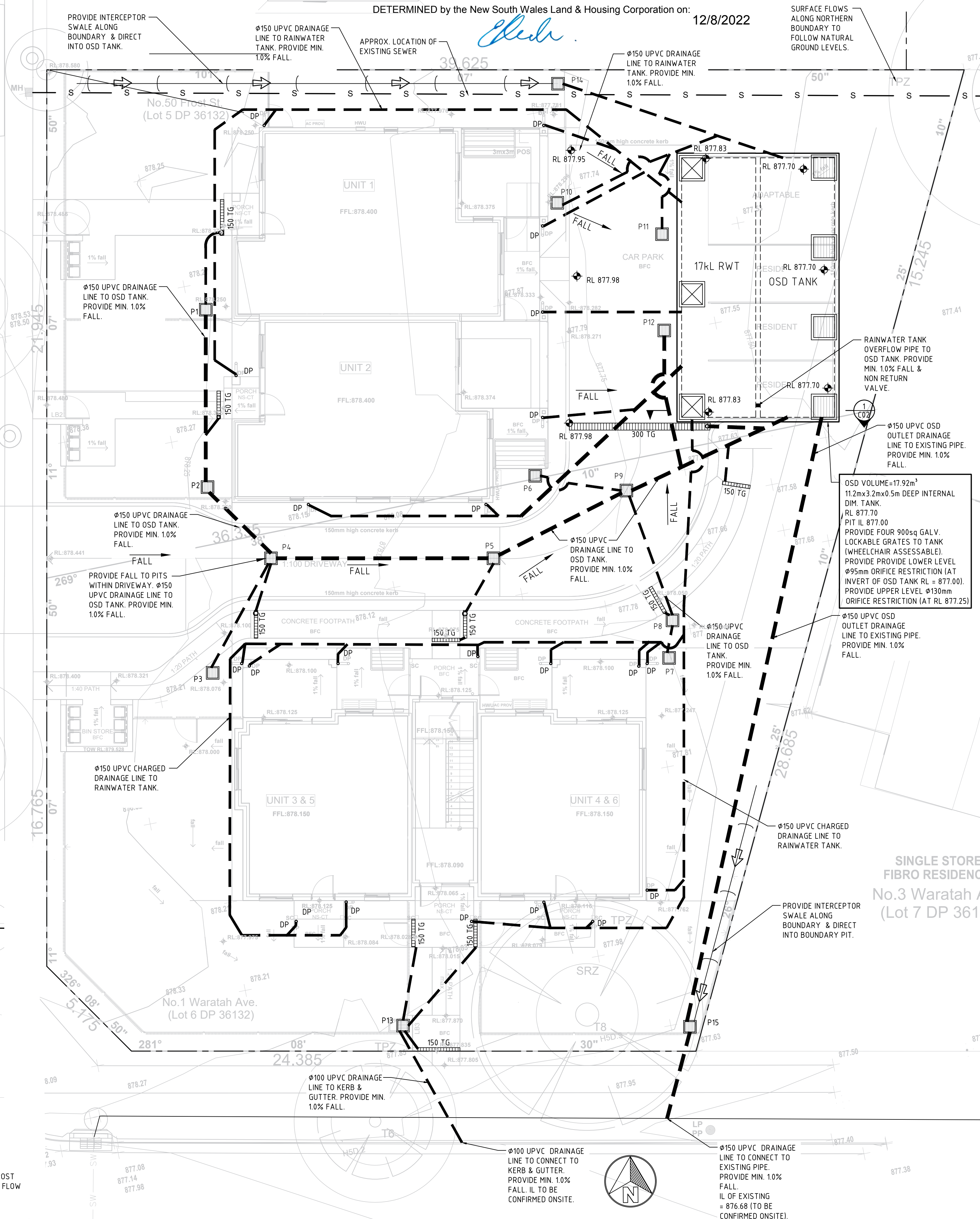
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PROJECT MANAGER LAND & HOUSING CORPORATION PH (02) 87980100 FAX (02) 87938011	STRUCTURAL & CIVIL CONSULTANT MSL CONSULTING ENGINEERS PTY LTD PH (02) 4226 6247
ARCHITECT DTA Architects Pty Ltd PH (02) 9661 1011	HYDRAULIC CONSULTANT
ELECTRICAL/BASIX CONSULTANT	LANDSCAPE CONSULTANT

DETERMINED by the New South Wales Land & Housing Corporation on:

12/8/2022

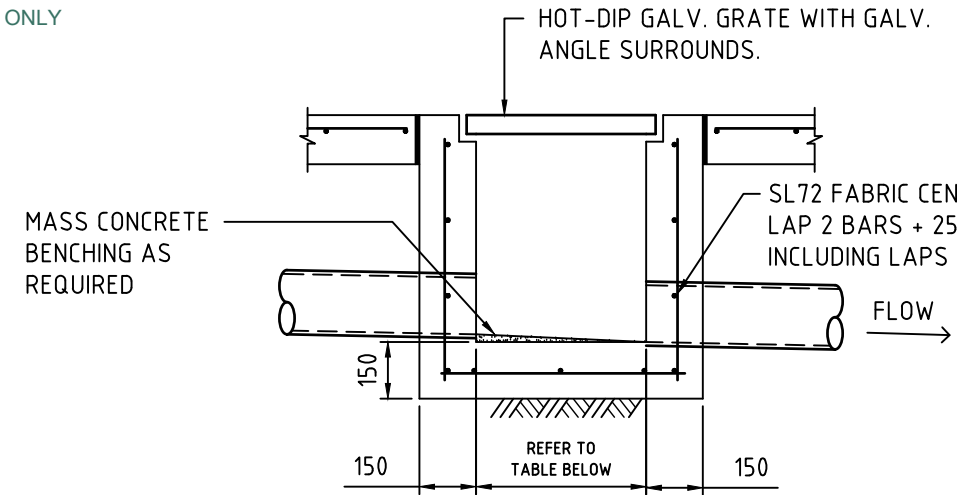


SINGLE STORE
FIBRO RESIDENCE
No.3 Waratah /
(Lot 7 DP 361)

GENERAL HOUSING
at
LOTS 5 & 6 IN DP 36132
1 WARATAH & 50 FROST STREET
ORANGE NSW 2800

SPECIFICATIONS & SITE
DRAINAGE PLAN

STATUS: DA	SCALE: As shown @ A1	PROJ: BGXG4	JOB: 21087
DATE: 29/10/21	DRAWN: AB	CHECKED: MP	CERTIFIED: MP
FILE:	TYPE: C	SHEET: 1 of 3	REV: B

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NOTES :
ALTERNATIVE PIT CONSTRUCTION MAY BE USED, SUBJECT TO
THE ENGINEERS APPROVAL

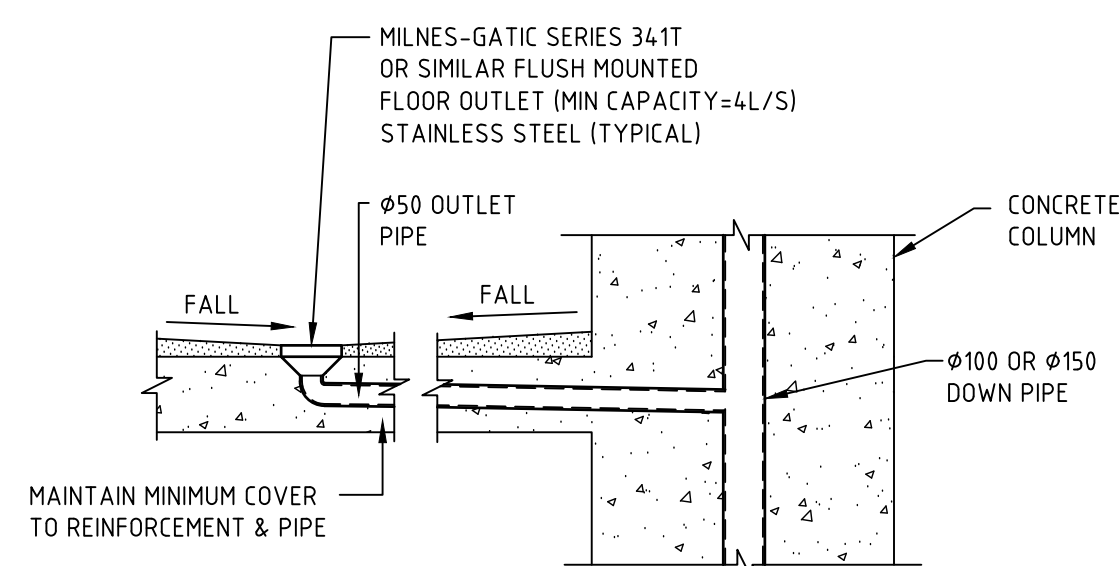
1.	Depth to Invert	Pit Internal Dimensions
	<600	450x450
	>600 <900	600x600
	>900 <1200	600x900
	>1200	900x900

2. PROVIDE STEP IRONS UNDER LID AT 300 CTS. TO COUNCIL SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000mm.
3. REINFORCEMENT NOTED IS ONLY REQUIRED FOR PITS EXCEEDING 900 DEEP. SUBJECT TO COUNCIL REQUIREMENTS. PITS GREATER THAN 2500 mm DEEP WILL REQUIRE STRUCTURAL ENGINEER'S DESIGN.
4. PROVIDE $\phi 90 \times 3000$ LONG SUBSOIL DRAINAGE STUB PIPE SURROUNDED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC (IBIDUM A24 OR APPROVED SIMILAR). TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.
5. ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS APPROVAL.
6. CONCRETE STRENGTH $f'c = 32$ MPa

NOTES :
ALTERNATIVE PIT CONSTRUCTION MAY BE USED, SUBJECT TO THE ENGINEERS APPROVAL

1.	Depth to Invert	Pit Internal Dimensions
	<600	450x450
	>600 <900	600x600
	>900 <1200	600x900
	>1200	900x900

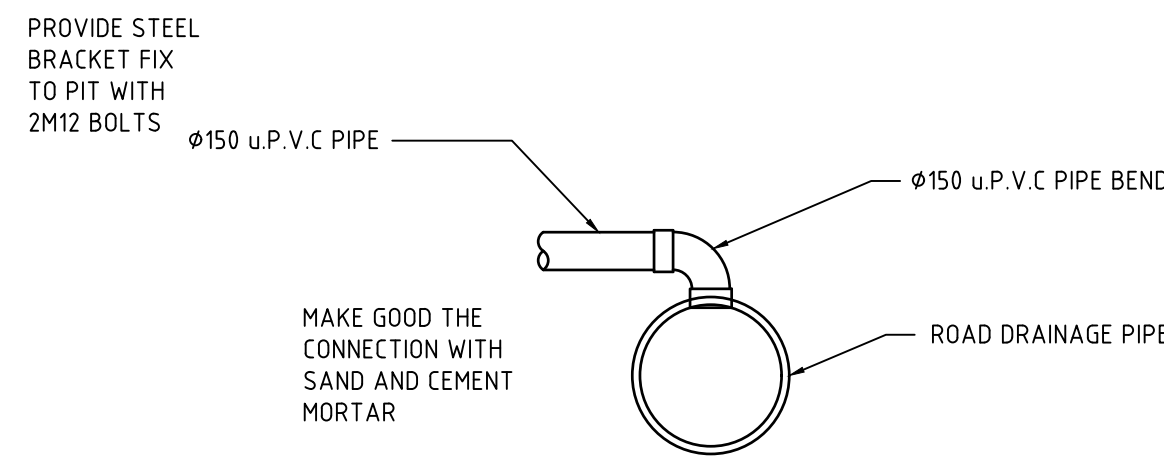
2. PROVIDE STEP IRONS UNDER LID AT 300 CTS. TO COUNCIL SPECIFICATIONS WHERE PIT DEPTH IS DEEPER THAN 1000mm.
3. REINFORCEMENT NOTED IS ONLY REQUIRED FOR PITS EXCEEDING 900 DEEP. SUBJECT TO COUNCIL REQUIREMENTS. PITS GREATER THAN 1500 mm DEEP WILL REQUIRE STRUCTURAL ENGINEER'S DESIGN.
4. PROVIDE $\phi 90 \times 3000$ LONG SUBSOIL DRAINAGE STUB PIPE SURROUND FILTERED WITH 100mm THICKNESS OF NOMINAL 20mm COARSE FILTER MATERIAL WRAPPED IN GEOTEXTILE FILTER FABRIC (BIDIM AZ2 OR APPROVED SIMILAR), TO BE PARALLEL TO UPSTREAM SIDE OF EACH INLET PIPE.
5. ALTERNATIVE PIT CONSTRUCTION MAY BE USED SUBJECT TO THE ENGINEERS APPROVAL.
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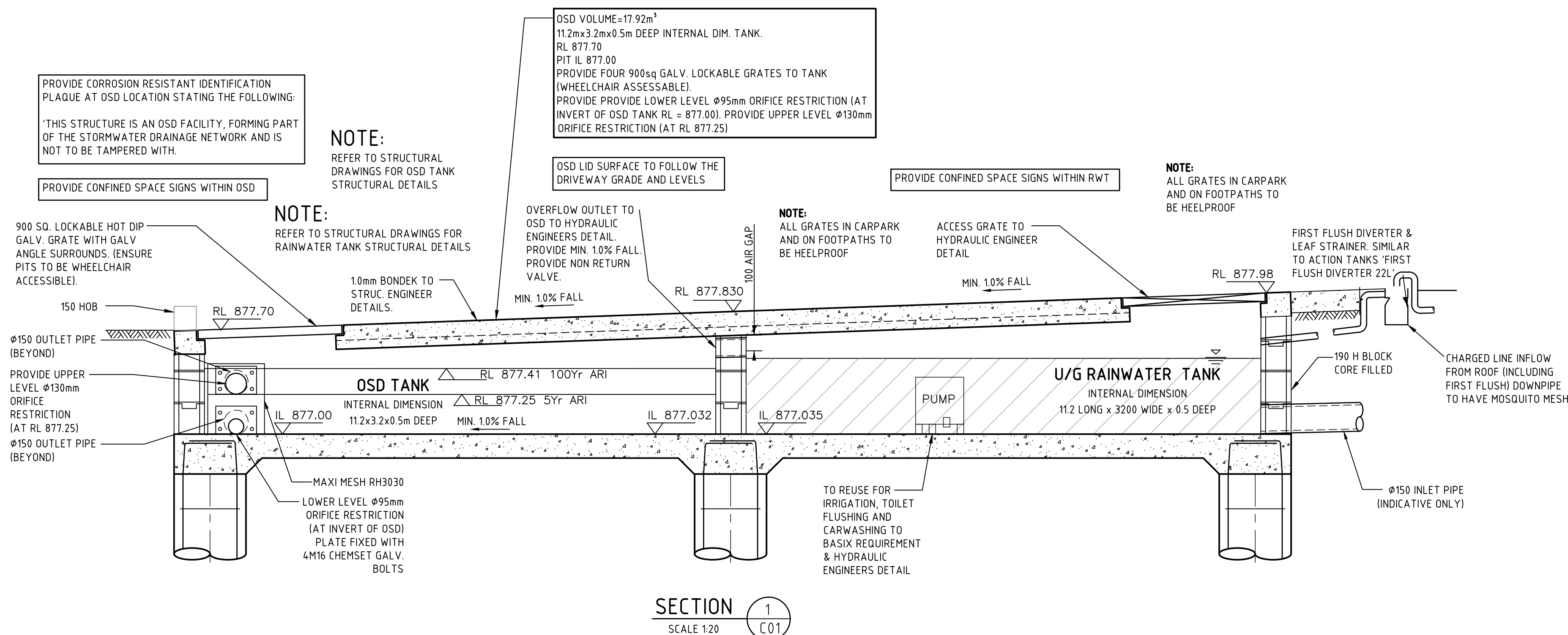
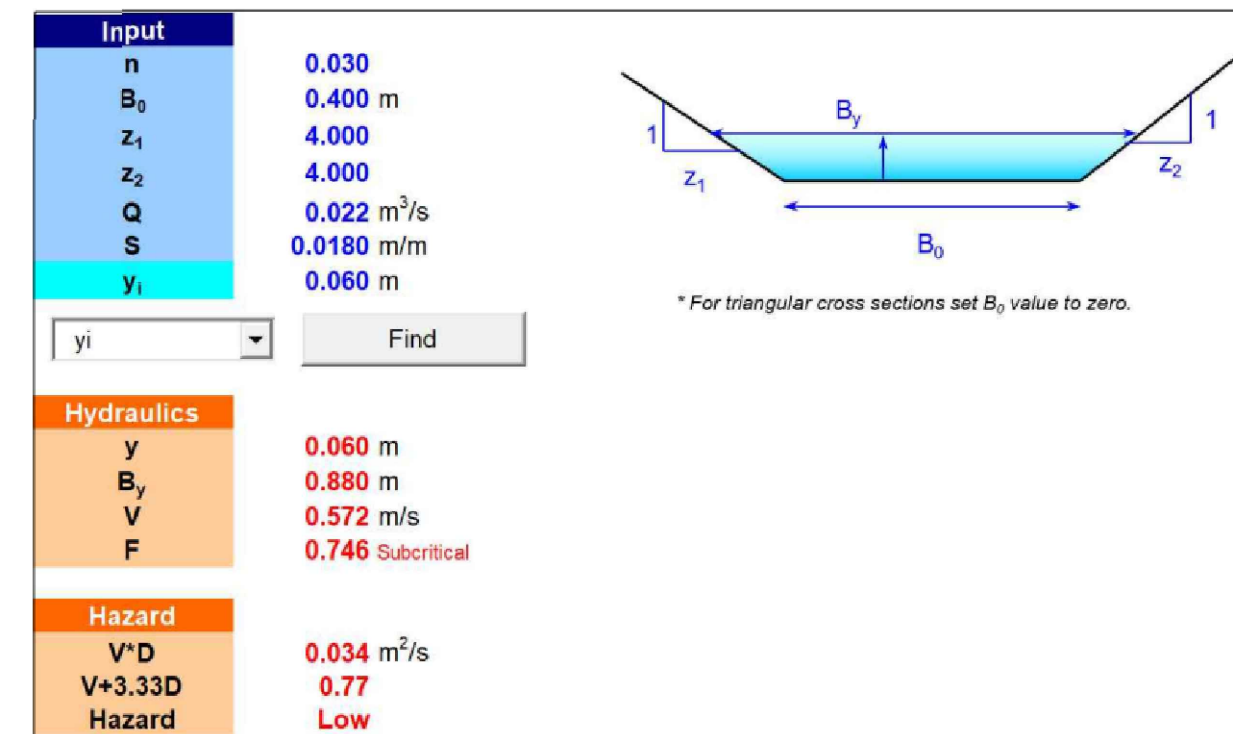
TYPICAL BALCONY FLOOR OUTLET DETAIL



NOT TO SCALE
GALVANISED LYSAGHT RH3030MAXI MESH
SCREEN IN GALVANISED STEEL FRAME WITH
LIFTING HANDLES



TYPICAL CONNECTION TO ROAD DRAINAGE
NOT TO SCALE



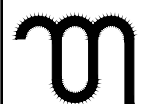
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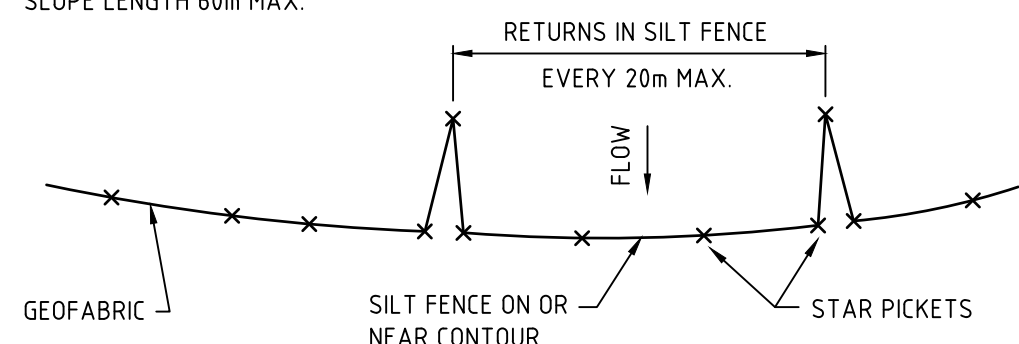
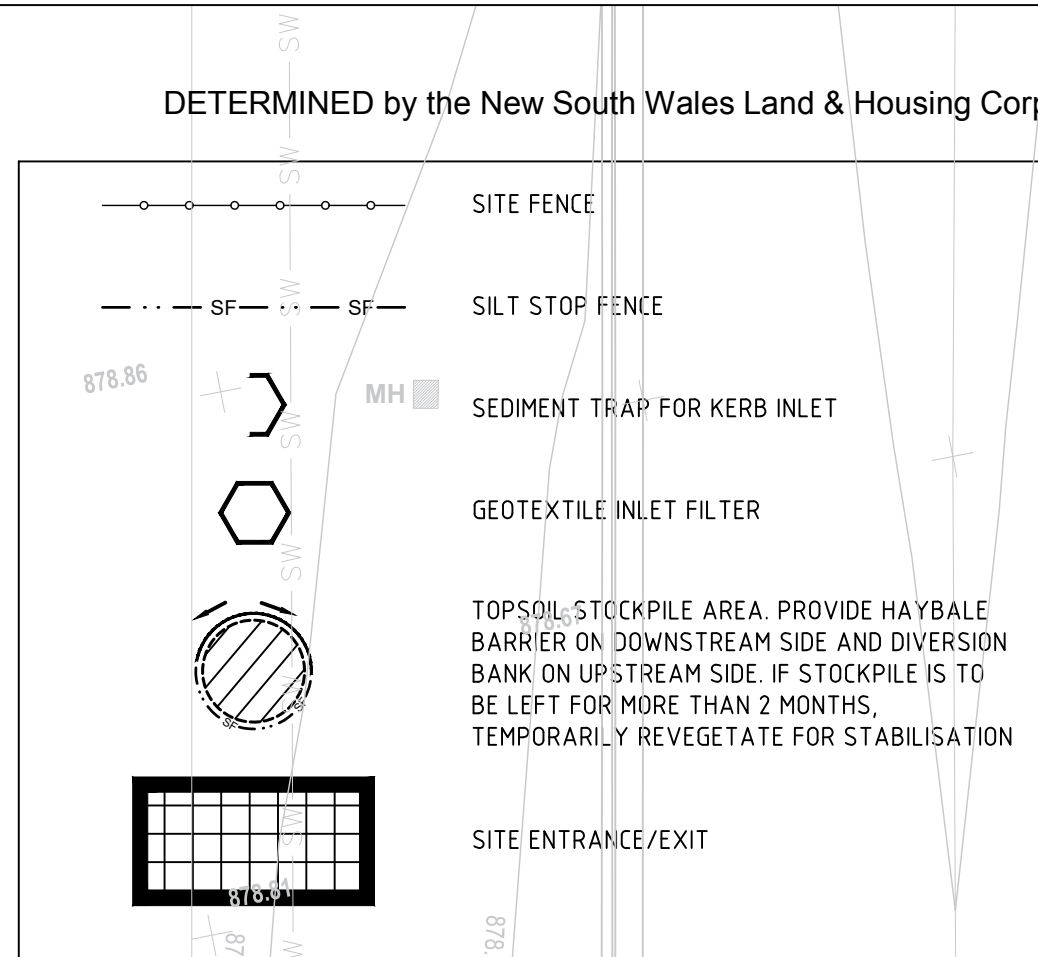
HYDRAULIC CONSULTANT

LANDSCAPE CONSULTANT

at
LOTS 5 & 6 IN DP 36132
1 WARATAH & 50 FROST STREET
ORANGE NSW 2800

FILE:	PLOTTED:
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STATUS: DA			
DATE: 17/02/22	SCALE: As shown @ A1	PROJ: BGXG4	JOB: 21087
STAGE: DA	DRAWN: AB	CHECKED: MP	CERTIFIER: MP
TYPE: C	SHEET: 2 of 3		REV: C



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SEDIMENT & EROSION CONTROL PLAN

SCALE 1:100

PROJECT:
GENERAL HOUSING

at
LOTS 5 & 6 IN DP 36132
1 WARATAH & 50 FROST STREET
ORANGE NSW 2800

TITLE: SEDIMENT & EROSION CONTROL PLAN

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